

RESOLUTION NO. 714

A RESOLUTION OF THE CITY OF UNIVERSITY PLACE, WASHINGTON, APPROVING THE EXCHANGE OF PROPERTIES FRONTING U.P. CROSSING BETWEEN THE CITY OF UNIVERSITY PLACE AND DONALD C. HELLAND, 110-12 TACOMA AVE. NORTH, LLC, AND ELMWOOD, LLC FOR MUTUAL FRONTAGE IMPROVEMENT BENEFITS

WHEREAS, Donald C. Helland, 110-12 Tacoma Ave. North, LLC and Elmwood, LLC (hereinafter collectively referred to herein as the "Developer") are the owners of a commercial area in University Place known as UP Crossing, which is bounded by 27th Street West, Regents Boulevard and 67th Avenue West ("UP Crossing Property"); and

WHEREAS, the Developer desires to make improvements to the UP Crossing Property which will require the use of the adjacent City property along 27th Street West (27th Street Property"), which property is owned by the City; and

WHEREAS, the City desires that a sidewalk be constructed upon the City's right-of-way on Regents Boulevard from 27th to 67th; and

WHEREAS, the Developer and the City agree to a mutually beneficial transaction in which the City will convey the 27th Street Property to Developer for its desired improvements on 27th, and in exchange, the Developer will construct upon the City's right-of-way on Regents Boulevard from 27th to 67th a sidewalk and associated frontage improvements pursuant to the City's plans and specifications. After the sidewalks and frontage improvements on City's right-of-way on Regents Boulevard from 27th to 67th are complete, Developer will convey a small piece of property at the corner of Regents Boulevard and 27th to the City, and it will also convey to the City the real property of Developer located at the intersection of Regents Boulevard and 67th Avenue West (the "Corner Property");

WHEREAS, the value of the real property and work being transferred and performed by the City and Developer are of an equal aggregate value, and the Developer's proposed improvements to UP Crossing Property will benefit the City by promoting and improving economic development within the City; and

WHEREAS, the City and the Developer wish to exchange certain real property, perform certain work and otherwise develop the UP Crossing Property under the terms and conditions set forth in the Development Agreement attached hereto.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF UNIVERSITY PLACE, WASHINGTON:

Section 1. Incorporation of Recitals. The recitals are hereby incorporated herein as if set forth in full.

Section 2. Legislative Determination of Consideration. The Council of the City of University Place has considered the proposed transaction, including the conveyance of property by the City and the Developer and the frontage improvements to be made by Developer, all as described in the proposed transaction documents, and hereby makes a legislative determination that the consideration of the value of the real property and work being transferred and performed by the City and the Developer are of an equal aggregate value, and are sufficient and appropriate consideration for the City and the Developer.

Section 3. Approval of Form of Documents. The City Council hereby approves execution of the Development Agreement and the Quit Claim Deeds in substantially the form of the documents accompanying this Resolution.

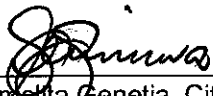
Section 4. Completion of Transaction. The City Manager is authorized to take and execute any additional measures or documents that may be necessary to complete this transaction, which are consistent with the approved form of documents attached to this Resolution, and this Resolution.

Section 5. Effective Date. This Resolution shall be effective immediately upon passage by the City Council.

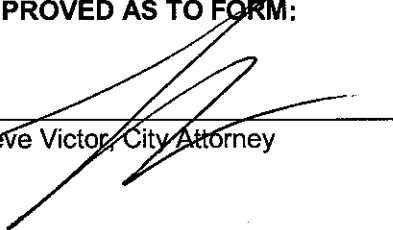
ADOPTED BY THE CITY COUNCIL ON MARCH 4, 2013.


Ken Grassi, Mayor

ATTEST:


Emmelia Genetia, City Clerk

APPROVED AS TO FORM:


Steve Victor, City Attorney

DEVELOPMENT AGREEMENT

This Development Agreement ("Agreement") is made as of this ____ day of January, 2013, by and between Donald C. Helland, 110-12 Tacoma Ave. North, L.L.C. and Elmwood, L.L.C. (collectively referred to hereinafter as "Developer"), and the City of University Place, a Washington municipal corporation ("City").

Whereas, the Developer is the owner of a commercial area in University Place known as UP Crossing, which is bounded by 27th Street West, Regents Boulevard and 67th Avenue West and is legally described in Exhibit A ("UP Crossing Property"); and

Whereas, the Developer desires to make improvements to the UP Crossing Property which will require the use of the adjacent City property along 27th Street West, which property is legally described in Exhibit B ("27th Street Property"); and

Whereas, the City desires that a sidewalk be constructed upon the City's right-of-way on Regents Boulevard from 27th to 67th; and

Whereas, the Developer proposes in consideration and exchange for the City's conveyance of the 27th Street Property to Developer, to (a) construct a sidewalk on the City's right-of-way on Regents Boulevard from 27th to 67th pursuant to the plans and specifications attached hereto as Exhibit D ("Sidewalk Work"), and (b) to permanently convey to the City for public right of way (i) the Regent's Boulevard Property described on Exhibit C, and (ii) the real property of Developer located at the intersection of Regents Boulevard and 67th Avenue West which is legally described in Exhibit E ("Corner Property"). The Regents Boulevard Property and the Corner Property are collectively referred to herein as the "Dedication Properties; and

Whereas, the value of the real property and work being transferred and performed by the parties hereto, are of an equal aggregate value, and the Developer's proposed improvements to UP Crossing Property will benefit the City by promoting and improving economic development within the City; and

Whereas, the City and the Developer wish to exchange certain real property, perform certain work and otherwise develop the UP Crossing Property under the terms and conditions set forth herein.

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained herein, the parties agree as follows:

1. Incorporation of Recitals. The recitals are hereby incorporated herein as if set forth in full.

2. Exchange Terms.

(a) The City covenants and agrees as follows:

(i) On or before Closing, the City will convey the 27th Street Property to the Developer by Quit Claim Deed in the form attached hereto as Exhibit F.

(ii) Between the date of this Agreement and the Closing, the City shall not dedicate, gift, transfer, mortgage or convey any interest in the 27th Street Property.

(iii) Immediately upon the execution hereof, the City shall use all reasonable efforts to issue before Closing the permits and other governmental approvals necessary for (a) the improvement of the UP Crossing Property, including the 27th Street Property, and (b) the performance of the Sidewalk Work ("Permits").

(b) The Developer covenants and agrees as follows:

(i) On or before July 1, 2013, Developer will commence construction of the Sidewalk Work, and the Sidewalk Work, subject to delay for uncontrollable circumstances, will be substantially complete by September 30, 2013.

(ii) Upon substantial completion of Sidewalk Work, the Developer shall execute and record the conveyance of the Dedication Properties to the City in the form attached hereto as Exhibit G.

(iii) Real estate taxes on the 27th Street Property after the date of Closing shall be paid by Developer.

(iv) Between the date of this Agreement and until such time as Developer has dedicated the Dedication Properties to the City, the Developer shall not dedicate, gift, transfer, mortgage or convey any interest in the Dedication Properties.

3. Cooperation. The parties hereto agree that they shall execute all documents and agreements and otherwise cooperate to effect the intent and purposes of this Agreement.

4. Preconditions to Closing. The following shall be preconditions to Closing:

(a) Developer shall obtain, at Developer's expense, an owner's title policy with respect to the 27th Street Property in such amount and with such exceptions as shall be satisfactory to Developer, in Developer's sole discretion.

(b) Developer shall have obtained from the City the Permits.

5. Closing. The closing of the transactions described herein ("Closing") shall occur within forty-five (45) days from the date of this Agreement. The parties' obligations hereunder shall immediately terminate in the event Closing fails to timely occur as described herein.

6. No Brokers. The parties agree that no party hereto shall be liable for any real estate broker's commission, agent's commission, or finder's fee, in connection with the transaction contemplated by this Agreement.

7. Condition of the Exchange Properties.

(a) Developer acknowledges that Developer has examined the 27th Street Property prior to entering into this Agreement. This Agreement is based upon Developer's inspection of the 27th Street Property and not upon any representation or warranties or conditions by the City. Developer acknowledges the City is conveying the 27th Street Property on an "as is" basis, without warranties or representations of any kind.

(b) City acknowledges that it has examined the Dedication Properties prior to entering into this Agreement. This Agreement is based upon City's inspection of the Dedication Properties and not upon any representation or warranties or conditions by the Developer. City acknowledges the Developer is conveying the Dedication Properties on an "as is" basis, without warranties or representations of any kind.

8. Default. Time is agreed to be of the essence. In the event either party fails to comply with any of the material terms hereof, then the other party may declare a default and seek any remedy at law or in equity without notice or demand, including specific performance.

9. Assignment. In the case of the assignment of this Agreement by either of the parties, prompt notice shall be given to the other party, who shall at the time of such notice be furnished with a duplicate of such assignment by such assignors. Any such assignment shall not terminate the liability of the assignor to perform, unless a specific release in writing is given and signed by the other party to this Agreement.

10. Severability. If any term or provision of this Agreement or the application thereof to any person or circumstances shall to any extent be invalid or unenforceable, the remainder of this Agreement or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable shall not be affected thereby, and each term and provision of this Agreement shall be valid and enforced to the fullest extent permitted by law.

11. Further Assurances. Each undersigned party will, except as otherwise provided herein, whenever it shall be necessary to do so by the other, promptly execute, acknowledge, and deliver, or cause to be executed, acknowledged, or delivered, documents as may be necessary or proper to effectuate the covenants, contingencies and agreements herein provided. The Developer and the City agree to use their best efforts in cooperation to carry out the intent of this Agreement.

12. Interpretations. Any uncertainty or ambiguity existing herein shall not be interpreted against either party because such party prepared any portion of this Agreement, but shall be interpreted according to the application of rules of interpretation of contracts generally.

13. Entire Agreement. This Agreement contains the entire agreement of the parties relating to the transaction contemplated hereby, and all prior or contemporaneous agreements, understandings, representations, warranties and statements, oral or written, are merged herein. This Agreement cannot be modified or altered unless reduced to writing and consented to by the parties.

14. Notices. Any notice, demand, or other communication mandated by this Agreement by either party to the other shall be sufficiently given or delivered if it is sent by registered or certified mail, postage prepaid, return receipt requested, or delivered personally at the addresses stated below:

City Representative:

Stephen P. Sugg, City Manager
City of University Place
3715 Bridgeport Way West, Suite B
University Place, WA 98466-4456

Tel: (253) 460-2519

Developer Representative:

John D. Peranzi
117 Tacoma Avenue N., #201
Tacoma, WA 98403
Tel: (253) 272-5601

With a copy to:

Carl R. Peterson
Eisenhower & Carlson, PLLC
1200 Wells Fargo Plaza
1201 Pacific Avenue
Tacoma, WA 98402
Tel: (253) 572-4500

15. Counterparts. This Agreement may be executed in two or more counterparts, each of which shall be an original but all of which shall constitute one and the same instrument.

16. Governing Law. All aspects of this Agreement shall be governed by the laws of the State of Washington with venue in Pierce County.

17. Successors and Assigns. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, legatees, devisees, personal representatives, successors and assigns.

18. Attorneys' Fees. In the event of any litigation or any other action with respect to this Agreement, the substantially prevailing party shall be entitled to recover from the other party all of its reasonable attorneys' fees and other reasonable expenses incurred in connection therewith.

IN WITNESS WHEREOF, the parties have executed this Agreement this ____ day of January, 2013.

CITY OF UNIVERSITY PLACE

Donald C. Helland

By _____
Stephen P. Sugg
City Manager

Approved as to form:

110-112 Tacoma Ave. North, L.L.C.

By _____
John D. Peranzi, Manager

By _____
Steve Victor, City Attorney

Elmwood, L.L.C.

By _____
John D. Peranzi, Manager

LEGAL DESCRIPTION:

THAT PORTION OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 2 EAST W.M., LYING SOUTHEASTERLY OF REGENTS BOULEVARD, WESTERLY OF 67TH AVENUE WEST, AND NORTHERLY OF CENTER STREET, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHEASTERLY MARGIN OF SAID REGENTS BOULEVARD AND THE NORTHERLY MARGIN OF SAID CENTER STREET, SAID INTERSECTION BEING 30 FEET SOUTHEASTERLY OF THE CENTERLINE OF REGENTS BOULEVARD AND 30 FEET NORTHERLY OF THE CENTERLINE OF CENTER STREET, SAID INTERSECTION BEING A POINT ON A CURVE WHOSE RADIUS POINT BEARS NORTH $27^{\circ}59'18''$ WEST; THENCE NORTHEASTERLY, ALONG SAID SOUTHEASTERLY MARGIN OF REGENTS BOULEVARD AND SAID CURVE, HAVING A RADIUS OF 603.00 FEET THROUGH A CENTRAL ANGLE OF $37^{\circ}39'37''$ AND AN ARC LENGTH OF 396.35 FEET TO A POINT OF TANGENCY; THENCE NORTH $24^{\circ}21'04''$ EAST, ALONG SAID MARGIN, 305.12 FEET, TO A POINT ON THE WESTERLY MARGIN OF 67TH AVENUE WEST, SAID POINT BEING 30 FEET WESTERLY OF THE CENTERLINE OF 67TH AVENUE WEST; THENCE SOUTH $00^{\circ}00'40''$ WEST, ALONG SAID WESTERLY MARGIN OF 67TH AVENUE WEST, 495.26 FEET, TO A TANGENT CURVE TO THE RIGHT WHOSE RADIUS POINT IS 90 FEET NORTHERLY OF THE CENTERLINE OF SAID CENTER STREET; THENCE SOUTHWESTERLY, ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 60 FEET, THROUGH A CENTRAL ANGLE OF $23^{\circ}31'23''$ AND AN ARC LENGTH OF 24.63 FEET, TO A POINT WHICH IS 35 FEET WESTERLY OF THE CENTERLINE OF SAID 67TH AVENUE WEST; THENCE NORTH $00^{\circ}00'40''$ EAST, PARALLEL WITH SAID CENTERLINE OF 67TH AVENUE WEST, 414.37 FEET, TO A TANGENT CURVE TO THE LEFT WHOSE RADIUS POINT IS 55 FEET SOUTHEASTERLY OF SAID CENTERLINE OF REGENTS BOULEVARD; THENCE NORTHERLY, WESTERLY AND SOUTHWESTERLY ALONG SAID CURVE TO THE LEFT HAVING A RADIUS 15 FEET, THROUGH A CENTRAL ANGLE OF $155^{\circ}39'36''$ AND AN ARC LENGTH OF 40.75 FEET TO A POINT OF TANGENCY, SAID POINT BEING 40 FEET SOUTHEASTERLY OF SAID CENTERLINE OF REGENTS BOULEVARD; THENCE SOUTH $24^{\circ}21'04''$ WEST, PARALLEL WITH SAID CENTERLINE OF REGENTS BOULEVARD, 201.33 FEET, TO A TANGENT CURVE TO THE RIGHT; THENCE SOUTHWESTERLY AND PARALLEL AND CONCENTRIC WITH SAID CENTERLINE OF REGENTS BOULEVARD ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 613 FEET THROUGH A CENTRAL ANGLE OF $35^{\circ}52'10''$ AND AN ARC LENGTH OF 383.76 FEET TO A POINT ON SAID NORTHERLY MARGIN OF CENTER STREET; THENCE SOUTH $88^{\circ}52'04''$ WEST, ALONG SAID NORTHERLY MARGIN 21.47 FEET TO THE POINT OF BEGINNING. ✓ PD 1/22/87

VACATE AREA DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M. PIERCE COUNTY, WASHINGTON; DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 13, OF O.A.S. ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 12 OF PLATS, PAGE 2, RECORDS OF PIERCE COUNTY, WASHINGTON.

THENCE SOUTH 89° 30' 04" EAST ALONG THE SOUTH LINE OF SAID LOT 13, A DISTANCE OF 46.41 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00° 29' 56" WEST, A DISTANCE OF 30.00 FEET TO THE CENTERLINE OF RIGHT OF WAY FOR 27TH STREET WEST;

THENCE SOUTH 89° 30' 04" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 318.18 FEET;

THENCE NORTH 00° 29' 56" EAST, A DISTANCE OF 40.39 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 13; SAID POINT BEING A POINT ON A CURVE WITH A RADIAL BEARING OF NORTH 33° 43' 50" WEST;

THENCE SOUTHERLY AND WESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 60.00 FEET; THROUGH A CENTRAL ANGLE OF 34° 13' 46"; AN ARC DISTANCE OF 35.85 FEET;

THENCE NORTH 89° 30' 04" WEST CONTINUING ALONG SAID SOUTH LINE OF LOT 13, A DISTANCE OF 284.43 FEET TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH AND SUBJECT TO COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.



27th Street Vacation/Parking
Vacate Area Description
Prepared by **BASELINE** Engineering Inc.
BEI #11-032
June 7, 2012

REGENTS BLVD.

DEDICATION DEED 8708110207

LINE TABLE		
LINE	LENGTH	BEARING
L1	46.41	N89°30'04"W
L2	30.00	S00°29'56"W
L3	40.39	S00°29'56"W

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	35.85	60.00	34°13'46"

TPOB
POC

POC=POINT OF COMMENCING
TPOB=TRUE POINT OF BEGINING

284.43'

L1
30'

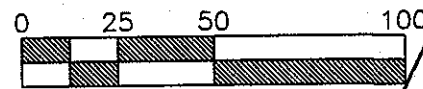
ROW

N89°30'04"W
318.18'

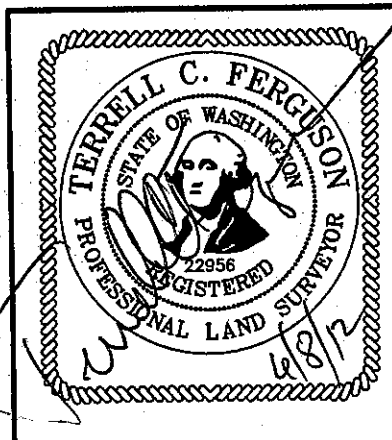
27TH STREET WEST

9,658± SQ. FT.

N33°43'50"W(R)
60.00'



1"=50'



Land Development Professional Services

(253)565-4491 • Seattle (206)824-1205 • FAX (253)565-8563

Land Planning & Use • Engineering • Surveying

1910-64th Avenue West • Tacoma, WA 98466

DRAWN BY KRF	DATE 6-7-12	JOB NO. 11-032
CHECKED BY TCF	SCALE 1"=50'	SHEET 1 OF 1

RIGHT OF WAY DEDICATION

THAT PORTION OF LOT 13, O.A.S. ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 12 OF PLATS, PAGE 2, RECORDS OF PIERCE COUNTY, WASHINGTON; DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 13, THENCE SOUTH 89° 30' 04" EAST ALONG THE SOUTH LINE OF SAID LOT 13, A DISTANCE OF 21.47 FEET TO THE TRUE POINT OF BEGINNING;

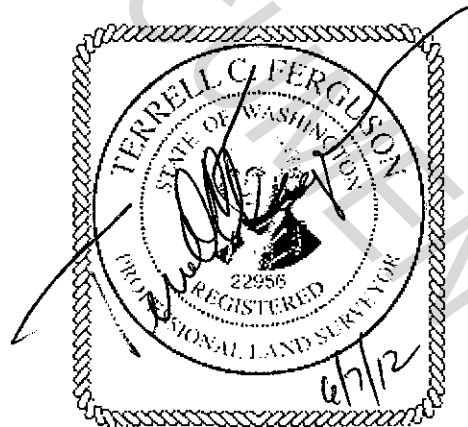
THENCE CONTINUING SOUTH 89° 30' 04" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 18.97 FEET TO A POINT OF CURVATURE;

THENCE WESTERLY AND NORTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 5.00 FEET, THROUGH A CENTRAL ANGLE OF 149° 35' 16"; AN ARC DISTANCE OF 13.05 FEET TO A POINT ON THE SOUTHERLY MARGIN LINE OF REGENTS BOULEVARD AS ESTABLISHED BY QUIT CLAIM DEED, RECORDING NUMBER 8708110207, RECORDS OF PIERCE COUNTY, WASHINGTON; SAID POINT BEING A POINT ON A CURVE WITH A RADIAL BEARING OF NORTH 29° 54' 47" WEST, A RADIUS OF 613.00 FEET;

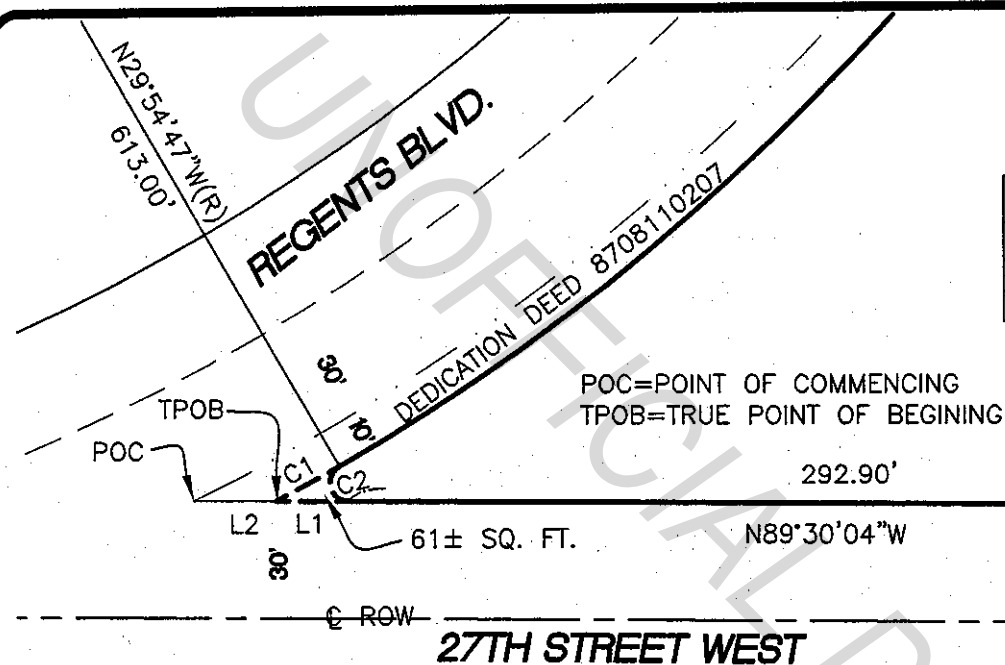
THENCE SOUTHWESTERLY ALONG SAID CURVE TO THE RIGHT ALONG SAID SOUTHERLY MARGIN LINE THROUGH A CENTRAL ANGLE OF 01° 43' 58", AN ARC DISTANCE OF 18.99 FEET TO THE TRUE POINT OF BEGINNING.

ALL SITUATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M.; PIERCE COUNTY, WASHINGTON.

TOGETHER WITH AND SUBJECT TO COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.



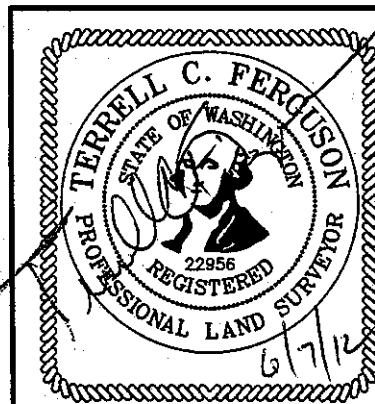
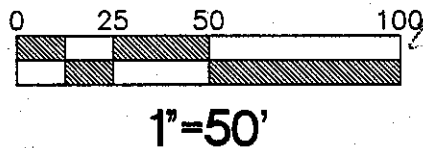
27th Street Vacation/Parking – ROW Dedication 3
Prepared by **BASELINE** Engineering Inc.
BEI #11-032
June 6, 2012



13

LINE TABLE		
LINE	LENGTH	BEARING
L1	18.97	N89°30'04"W
L2	21.47	N89°30'04"W

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	18.89	613.00	1°45'58"
C2	13.05	5.00	149°35'16"



BASELINE ENGINEERING, INC.

Land Development Professional Services

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Land Planning & Use • Engineering • Surveying

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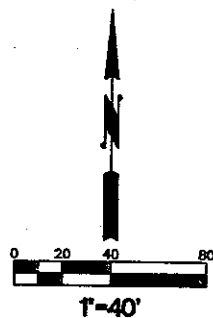
DRAWN BY KRF	DATE 6-7-12	JOB NO. 11-032
CHECKED BY TCF	SCALE 1"=50'	SHEET 1 OF 1

M:\2011\1032\Eng\Regents and 27th Improvements\11032-C1.dwg, 1/23/2013 11:53:02 AM, andy

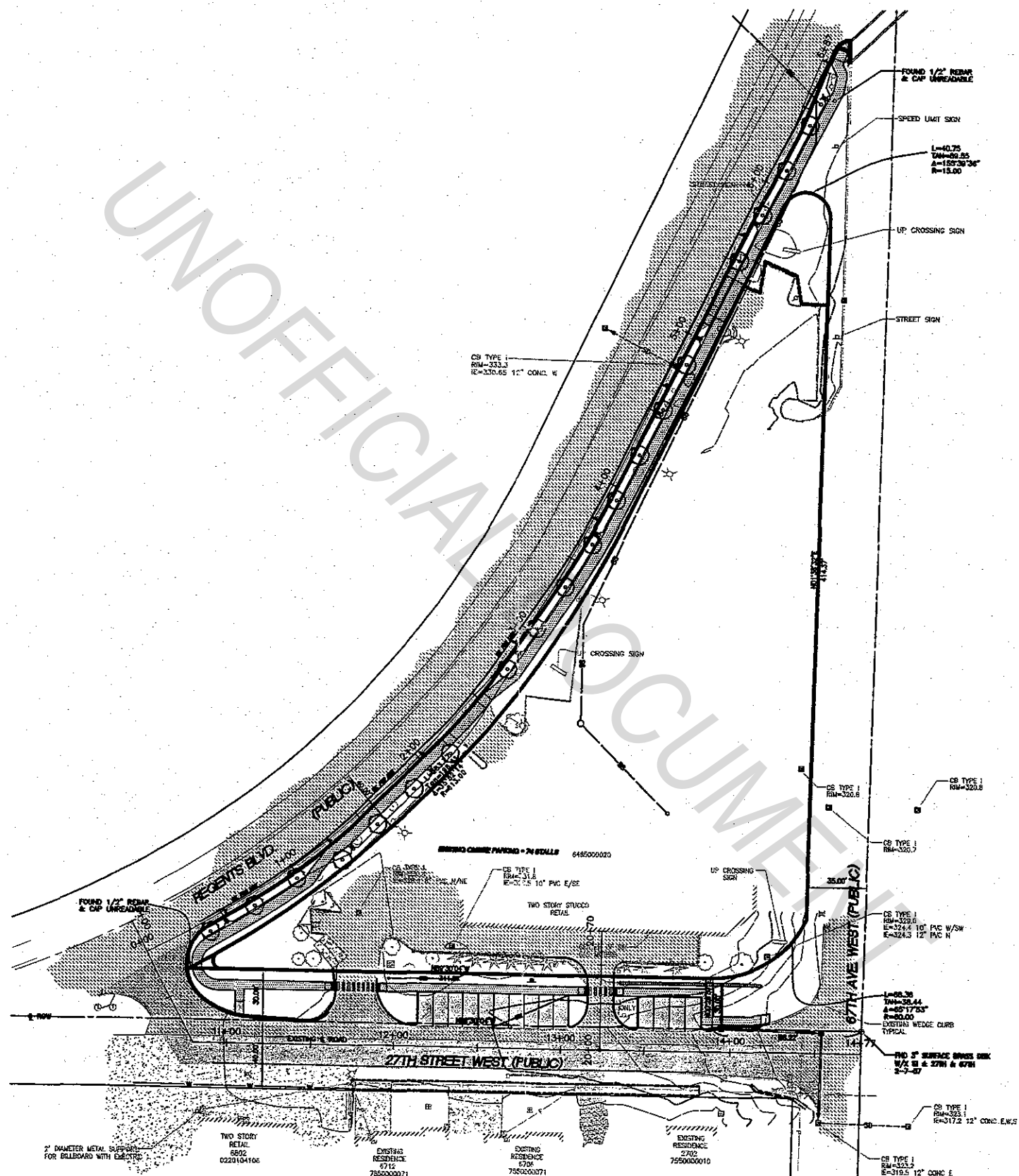
A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M.
CITY OF UNIVERSITY PLACE, PIERCE COUNTY, WASHINGTON
REGENTS BOULEVARD/27TH ST. IMPROVEMENTS

LEGEND

- GAS VALVE
- CATCH BASIN
- GAS METER
- WATER METER
- UTILITY POLE
- SIGN AS NOTED
- TELEPHONE RISER
- ELECTRIC METER
- TELEPHONE MANHOLE
- UTILITY POLE WITH LUMINAIRE AND UNDER GROUND JUNCTION BOX
- ROCKERY
- CONCRETE WALL
- MAIL BOX (BOX'S)
- IRRIGATION CONTROL BOX
- BOLLARD/GUARD POST
- 1' WIDE x 1' HIGH CONCRETE BLOCK RET WALL
- EXISTING WATER LINE
- WEDGE CURB
- CONCRETE CURB
- OVER HEAD UTILITY LINES
- EXISTING ROAD CENTER LINE
- DECIDUOUS TREE
- EVERGREEN TREE
- EXISTING GRAVEL
- EXISTING CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- NEW ILLUMINAIRE
- NEW STREET TREE

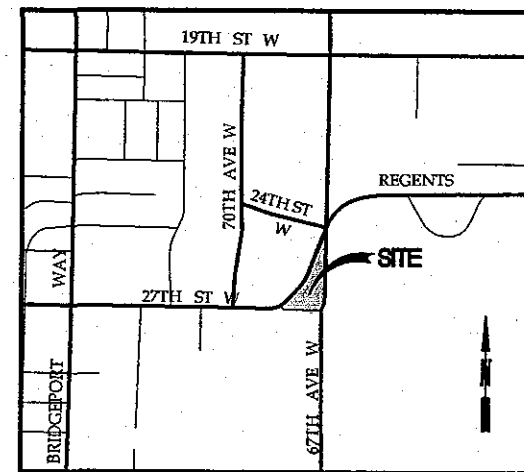


DATUM
ASSUMED



APPROVED:

CITY OF UNIVERSITY PLACE
THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS, OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION OR IF FIELD CONDITIONS ARE DIFFERENT FROM WHAT IS DEPICTED ON THESE DRAWINGS. THE CITY, BY APPROVING THESE DOCUMENTS, IN NO WAY WARRANTS THEIR ACCURACY OR ACKNOWLEDGES ANY OMISSIONS. APPROVAL OF THESE DRAWINGS IS RELATED ONLY TO THIS SITE DEVELOPMENT PERMIT AND SHALL NOT BE CONSTRUED AS APPROVAL FOR ANY OTHER WORK BEYOND THE SCOPE OF THIS PERMIT. CITY APPROVAL FOR SITE DEVELOPMENT IS LIMITED TO SITE GRADING, ROADWAY AND STORM DRAINAGE CONSTRUCTION ONLY. WATER AND WASTEWATER FACILITIES, IF INDICATED ON THE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. SEPARATE APPROVAL FOR WATER AND WASTEWATER FACILITIES DESIGN MUST BE OBTAINED FROM AGENCIES PROVIDING THOSE UTILITY SERVICES. CHANGES TO GRADING, ROADWAY CONFIGURATION AND/OR STORM DRAINAGE FACILITIES REQUIRED AS A RESULT OF THE REVIEW OF OTHER UTILITY PROVIDERS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO IMPLEMENTING SAID CHANGES.



VICINITY MAP
SCALE 1"=1000'

PARKING STALL NOTES

EXISTING CONDITION

ONSITE NUMBER OF VAN ADA STALLS = 2
ONSITE NUMBER OF TYPICAL ADA STALLS = 2
ONSITE NUMBER OF NON-ADA STALLS = 70
TOTAL = 74

DEVELOPED CONDITION

ONSITE NUMBER OF VAN ADA STALLS = 2
ONSITE NUMBER OF TYPICAL ADA STALLS = 2
ONSITE NUMBER OF NON-ADA STALLS = 72
OFFSITE PUBLIC NON-ADA STALLS = 4
OFFSITE NUMBER OF NON-ADA STALLS = 10
TOTAL = 80

PER IBC 2009, TABLE 1106.1 REQUIRED NO. ADA STALLS = 4
PER IBC 2009, 1106.5 REQUIRED NO. VAN ADA STALLS = 4/6 = 1 < 2
DEVELOPED CONDITION IS IN COMPLIANCE WITH IBC 2009 ADA REQUIREMENTS

SITE INFORMATION

PARCEL: ADJACENT TO 6465000020
ADDRESS: ADJACENT TO 67TH AVE. W. & REGENTS BLVD. W.

OWNER

JOHN PERANZI
117 NORTH TACOMA AVE., #201
TACOMA, WA 98403

SURVEYOR

BASELINE ENGINEERING, INC.
1910 64TH AVE WEST
TACOMA, WA 98466
PH: (253) 565-4491
FX: (253) 565-8563
CONTACT: GARY ALLEN, P.L.S.

CIVIL ENGINEER

BASELINE ENGINEERING, INC.
1910 64TH AVE WEST
TACOMA, WA 98466
PH: (253) 565-4491
FX: (253) 565-8563
CONTACT: JERRY WALDRON, P.E.

SHEET INDEX

- SHEET 1 COVER SHEET
- SHEET 2 VACATION EXHIBIT
- SHEET 3 TESC PLAN
- SHEET 4 TESC NOTES AND DETAILS
- SHEET 5 REGENTS BLVD. PLAN AND PROFILE
- SHEET 6 27TH ST. W. PLAN AND PROFILE
- SHEET 7 NOTES AND DETAILS
- SHEET 8 STREET LIGHT PLAN (REGENTS BLVD.)
- SHEET 9 STREET LIGHT NOTES

Call 811
before you
Dig

NOTE

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COVER SHEET

TITLE:

OWNER/DEVELOPER:
JOHN PERANZI
117 NORTH TACOMA AVE., #201
TACOMA, WA 98403

BASELINE ENGINEERING, INC.

Land Development Professional Services
(253) 565-4491 • Seattle (206) 824-1205 • FAX (253) 565-8563
Land Planning & Use • Engineering • Surveying
1910 64th Avenue West • Tacoma, WA 98466

DESIGNED	JAW
DRAWN	DP
CHECKED	JAW
DATE	7/9/12
SCALE	AS SHOWN

SHEET
C-1
1 of 10
JOB NO.
11-032

M:\2011Jobs\11032\Eng\Regents and 27th Improvements\11032-C2.dwg, 1/23/2013 11:54:42 AM, andy

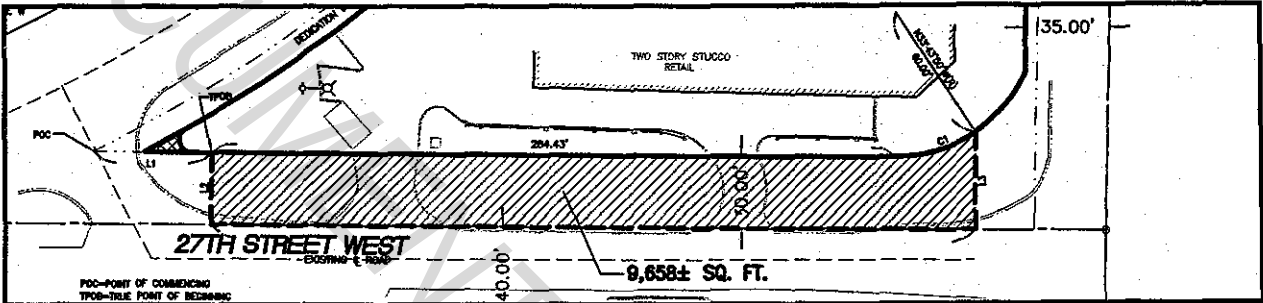
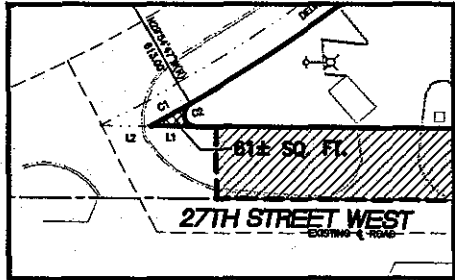
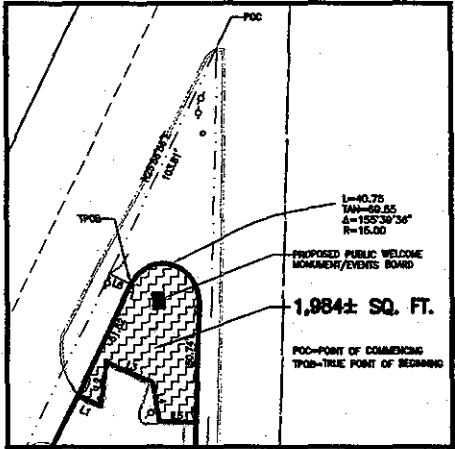
PARTIAL VACATION TRADE EXHIBIT
A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M.,
CITY OF UNIVERSITY PLACE, PIERCE COUNTY, WASHINGTON

APPROVED:

CITY OF UNIVERSITY PLACE
THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS, OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION OR IF FIELD CONDITIONS ARE DIFFERENT FROM WHAT IS DEPICTED ON THESE DRAWINGS. THE CITY, BY APPROVING THESE DOCUMENTS, IN NO WAY WARRANTS THEIR ACCURACY OR ACKNOWLEDGES ANY OMISSIONS. APPROVAL OF THESE DRAWINGS IS RELATED ONLY TO THIS SITE DEVELOPMENT PERMIT AND SHALL NOT BE CONSTRUED AS APPROVAL FOR ANY OTHER WORK BEYOND THE SCOPE OF THIS PERMIT. CITY APPROVAL FOR SITE DEVELOPMENT IS LIMITED TO SITE GRADING, ROADWAY AND STORM DRAINAGE CONSTRUCTION ONLY. WATER AND WASTEWATER FACILITIES, IF INDICATED ON THE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. SEPARATE APPROVAL FOR WATER AND WASTEWATER FACILITIES DESIGN MUST BE OBTAINED FROM AGENCIES PROVIDING THOSE UTILITY SERVICES. CHANGES TO GRADING, ROADWAY CONFIGURATION AND/OR STORM DRAINAGE FACILITIES REQUIRED AS A RESULT OF THE REVIEW OF OTHER UTILITY PROVIDERS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO IMPLEMENTING SAID CHANGES.

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.26	N64°26'29"W
L2	18.70	N09°11'33"E
L3	20.65	S86°16'03"E
L4	16.66	S09°53'49"E
L5	15.64	S87°42'38"E
L6	10.00	S84°01'04"E

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	18.69	613.00	1°45'58"
C2	13.05	5.00	H49°35'16"



LINE TABLE		
LINE	LENGTH	BEARING
L1	46.41	N89°30'04"W
L2	30.00	S00°29'56"W
L3	40.39	S00°29'56"W

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	35.85	60.00	34°13'46"

SITE INFORMATION

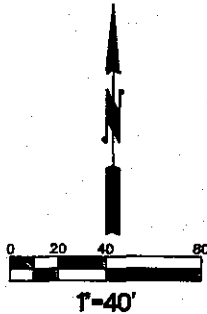
PARCEL: ADJACENT TO 8465000020

ADDRESS: ADJACENT TO 67TH AVE. W. & REGENTS BLVD. W.

AREA CALCULATIONS

VACATION AREA = 9,658 SF
ROW DEDICATION AREA (NW CORNER) = 1,984 SF
ROW DEDICATION AREA (SE CORNER) = 61 SF

NET AREA= 7,613 SF



VERTICAL DATUM

INDICATES PER PIERCE COUNTY DEPT. OF PUBLIC WORKS FOR THE (151)-5 SE CORNER FIRST CONCRETE STEP OF THREE UP TO RESIDENCE 3014 67TH AVE. W. IN THE QUAD 67TH & 68TH AVE. W. ELEVATION=331.42

OWNER/DEVELOPER:

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C-2
2 OF 10
JOB NO.
11-032

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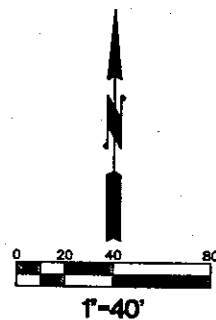
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LEGEND

- INTERIM CB PROTECTION
- CLEARING LIMITS
- MURPHY SILT FENCE

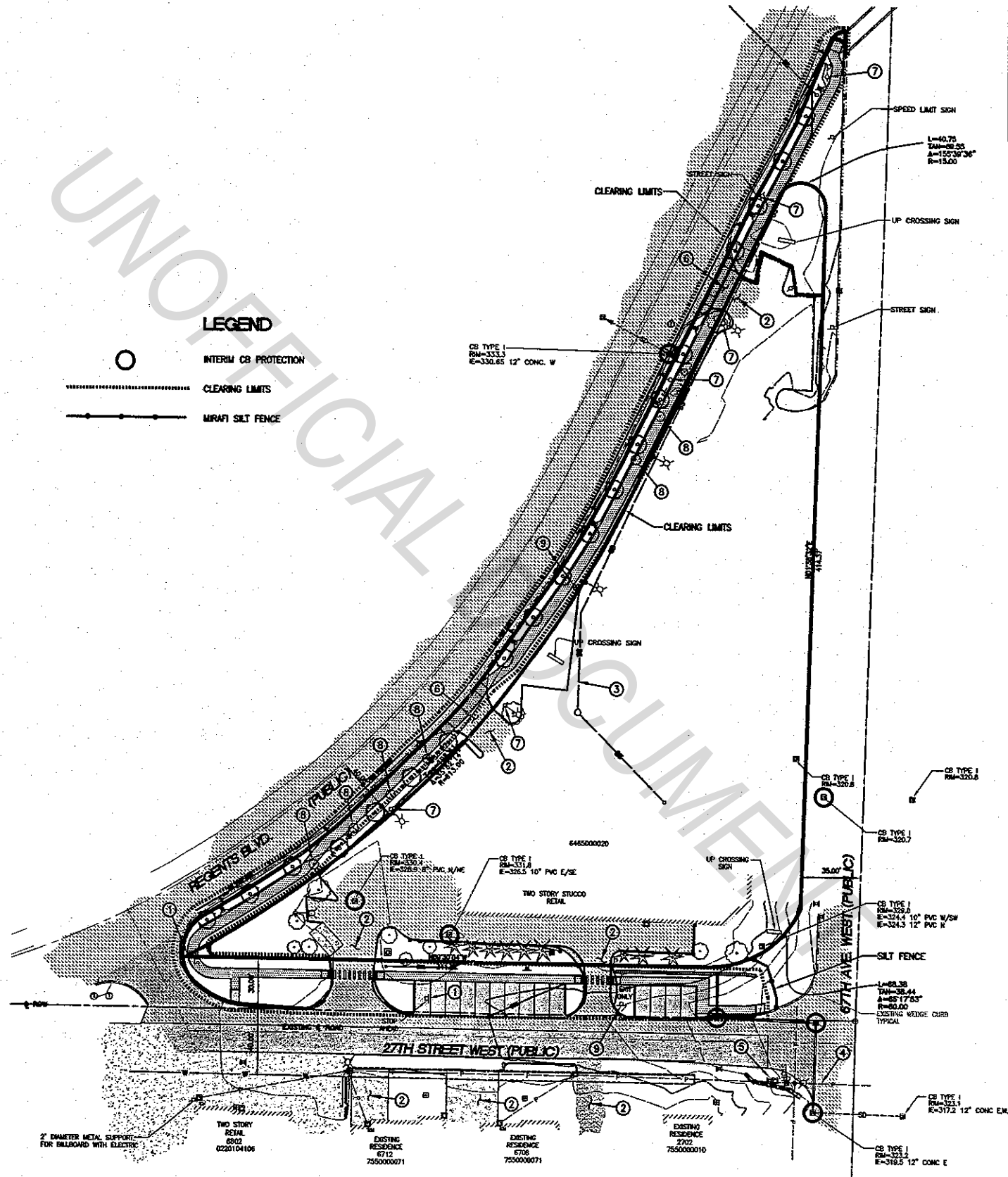


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AND CUTTING UNDERGROUND UTILITY LINES. ITS COVER.

Call 811
before you
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KEYNOTES

1. RELOCATE EXISTING STREET SIGN.
2. CONTRACTOR TO MAINTAIN ACCESS TO COMMERCIAL/RESIDENTIAL OWNERS THROUGHOUT CONSTRUCTION.
3. PROTECT EXISTING SANITARY SEWER UTILITY.
4. CAUTION - OVERHEAD POWER.
5. PROTECT EXISTING UTILITIES.
6. CONTRACTOR SHALL USE EXISTING PAVED DRIVEWAYS AS CONSTRUCTION ENTRANCE.
7. PROTECT EXISTING POWER UTILITY.
8. REMOVE EXISTING STREET TREES.
9. PROTECT EXISTING ROAD SIGN.
10. PROTECT EXISTING WATER UTILITY.

GENERAL NOTES

1. CONTRACTOR TO MODIFY & MAINTAIN TESC AS NECESSARY.
2. CONTRACTOR TO PROVIDE ACCESS TO ALL BUSINESSES AND RESIDENCES THROUGHOUT CONSTRUCTION.
3. DISTURBED AREA = 0.57 ACRES.
4. SOIL CLASSIFICATION TYPE C.
5. CONTRACTOR TO STREET SWEEP ROADWAY AT THE END OF EACH CONSTRUCTION DAY.



TESC PLAN

UNIVERSITY PLACE WASHINGTON

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3 OF 3

JOB NO.
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A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M.,
CITY OF UNIVERSITY PLACE, PIERCE COUNTY, WASHINGTON

STANDARD EROSION CONTROL AND SEDIMENTATION PLAN NOTES

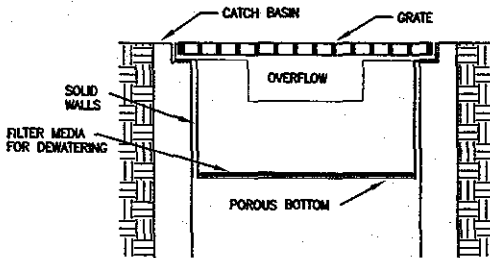
1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED (E.G., ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) TO ACCOUNT FOR CHANGING SITE CONDITIONS TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, OR STORM DRAINAGE SYSTEMS.
6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).
7. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
8. ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN 15 DAYS.
9. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
10. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LOADED WATER INTO THE DOWNSIDE DRAINAGE SYSTEM.
11. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
12. ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
13. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.
14. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDING IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDING WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDING AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE CITY INSPECTOR. THE CITY INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.
15. IN CASE EROSION OR SEDIMENTATION IMPACTS OFF-SITE PROPERTY, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE AND THE APPLICANT WILL IMMEDIATELY TAKE ACTION TO PREVENT FURTHER EROSION AND SEDIMENTATION AND RESTORE BOTH ON-SITE AND OFF-SITE DAMAGED AREAS. WORK SHALL NOT RESUME UNTIL AUTHORIZED BY THE CITY.

CONSTRUCTION SEQUENCE

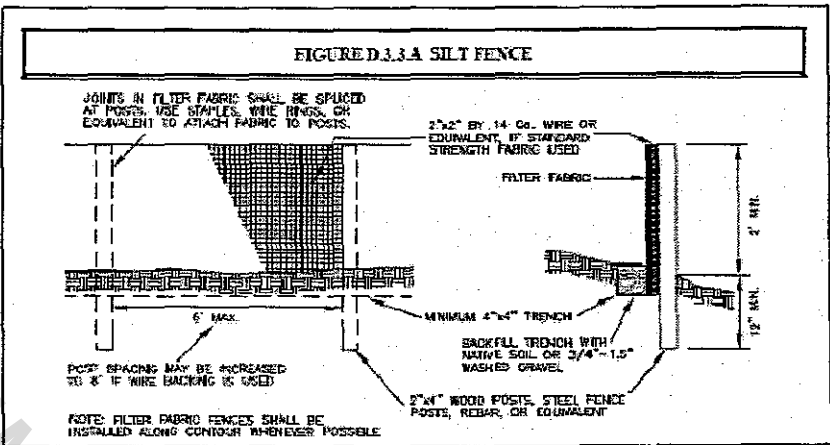
1. HOLD THE PRE-CONSTRUCTION MEETING.
2. FLAG OR FENCE CLEARING LIMITS.
3. POST A SIGN WITH THE NAME AND PHONE NUMBER OF THE ESC SUPERVISOR.
4. INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.) AND TEMPORARY INTERCEPTOR SWALE.
7. GRADE AND STABILIZE CONSTRUCTION ROADS.
8. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
9. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH KING COUNTY SURFACE WATER DESIGN MANUAL, CITY OF UNIVERSITY PLACE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
10. RELOCATE SURFACE WATER CONTROLS OR EROSION CONTROL MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE KING COUNTY SURFACE WATER DESIGN MANUAL.
11. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
12. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
13. SEED OR SOO ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
14. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPs IF APPROPRIATE.

APPROVED:

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1 TEMPORARY CATCH BASIN PROTECTION



2 SILT FENCE DETAIL

AND CUTTING UNDERGROUND
UTILITY LINES. IT'S COSTLY.
Call 811
before you
Dig

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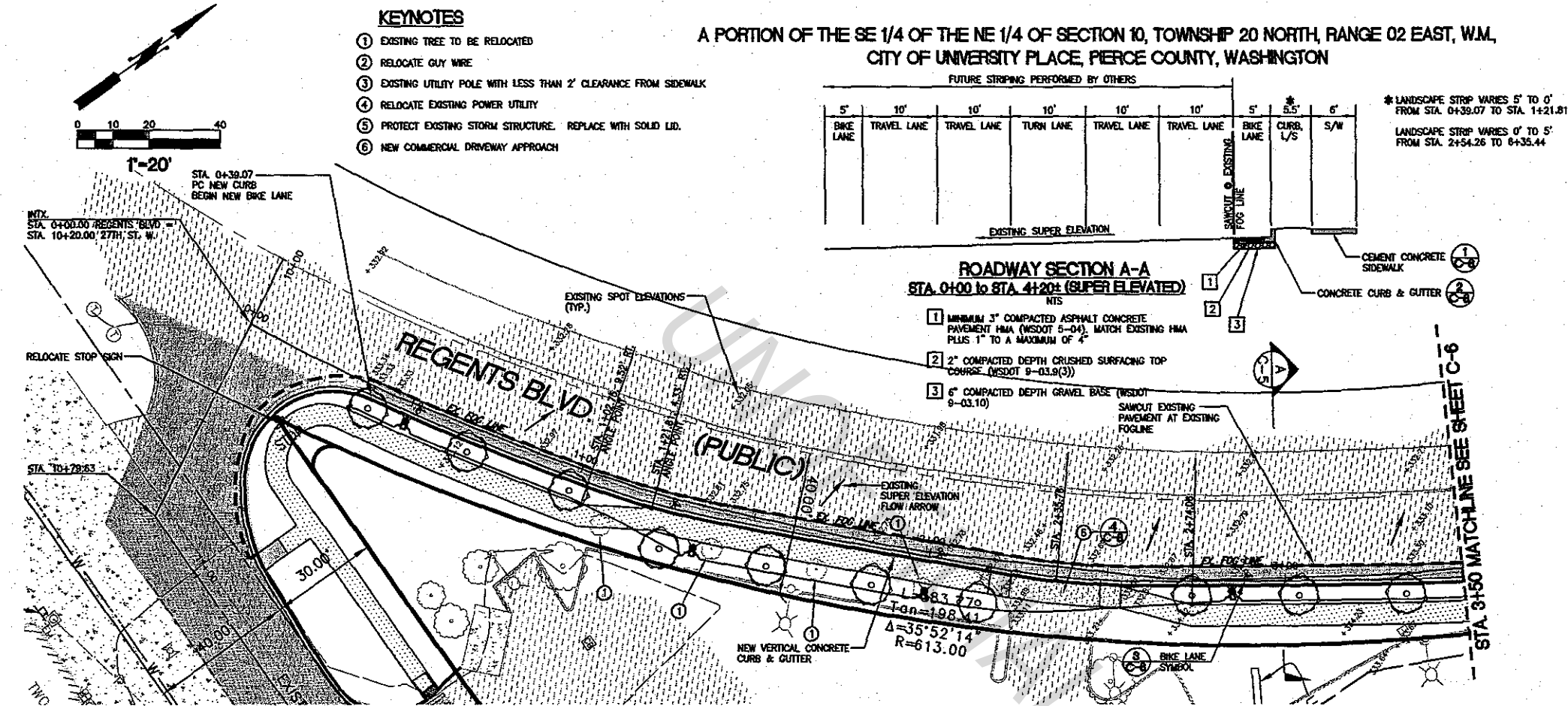


TITLE: TESC NOTES AND DETAILS
UNIVERSITY PLACE WASHINGTON

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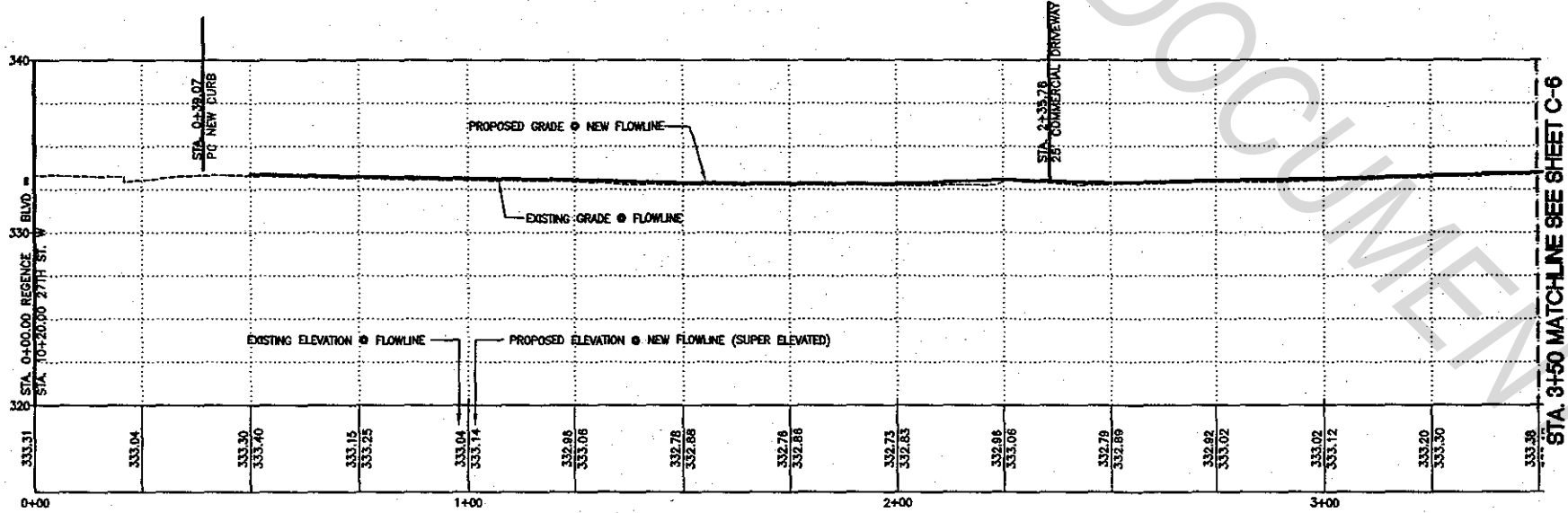
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SHEET: 4 OF 10
JOB NO.: 11-032



PLAN - REGENTS BOULEVARD

SCALE: 1"=20'



PROFILE - REGENTS BOULEVARD

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

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- LEGEND
- NEW SIDEWALK
 - EXISTING ASPHALT
 - NEW ASPHALT PAVEMENT
 - NEW ILLUMINARE
 - NEW STREET TREE

- GENERAL NOTES
- WITH THE EXCEPTION OF THE BIKE LANE ALL CHANNELIZATION WITHIN REGENTS BLVD. TO BE COMPLETED BY OTHERS.
 - CHANNELIZATION TO ADHERE TO MUTCD STANDARDS.



REGENTS BOULEVARD
PLAN AND PROFILE

UNIVERSITY PLACE WASHINGTON

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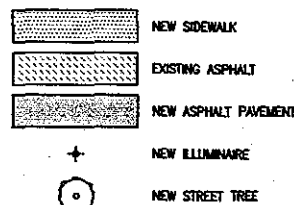
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LEGEND



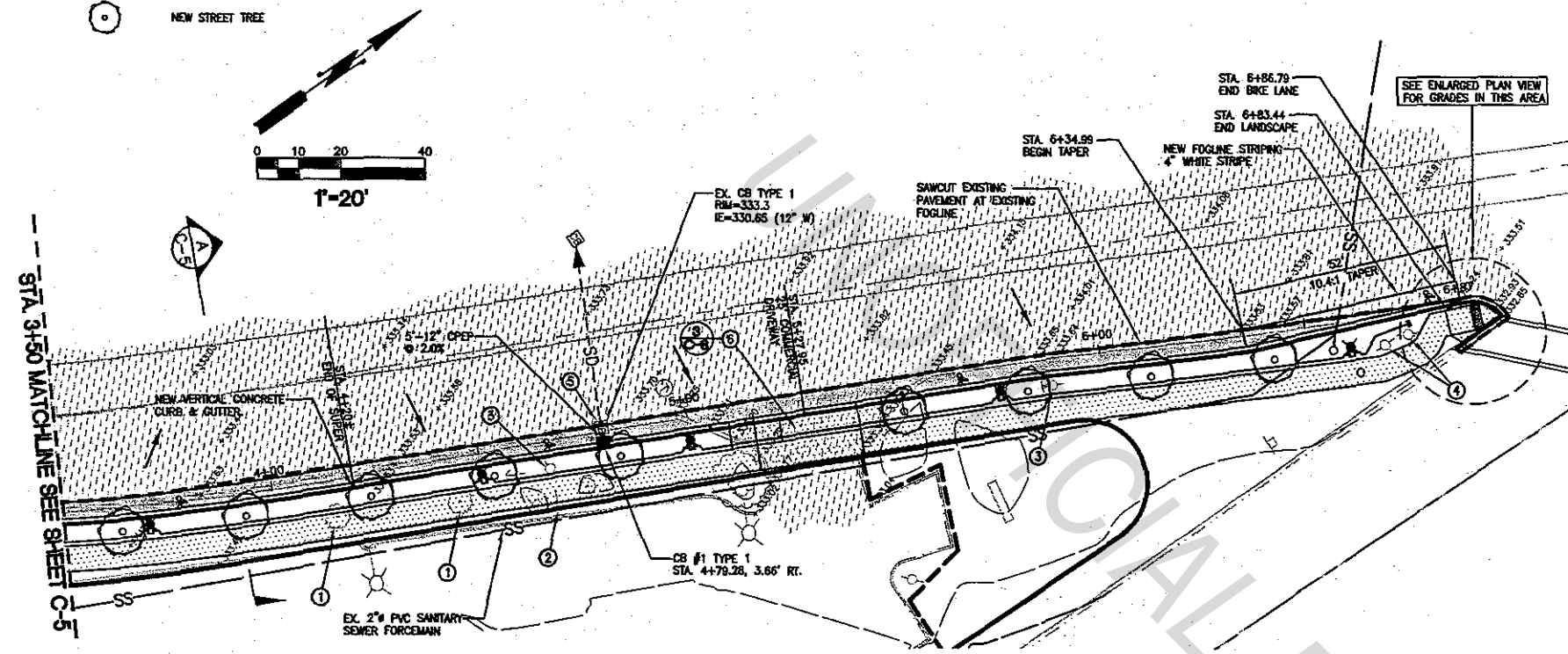
KEYNOTES

- EXISTING TREE TO BE RELOCATED
- RELOCATE GUY WIRE
- EXISTING UTILITY POLE WITH LESS THAN 2' CLEARANCE FROM SIDEWALK
- PROTECT EXISTING POWER UTILITY
- REPLACE R/W WITH SOLID LID
- NEW COMMERCIAL DRIVEWAY APPROACH

A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M.,
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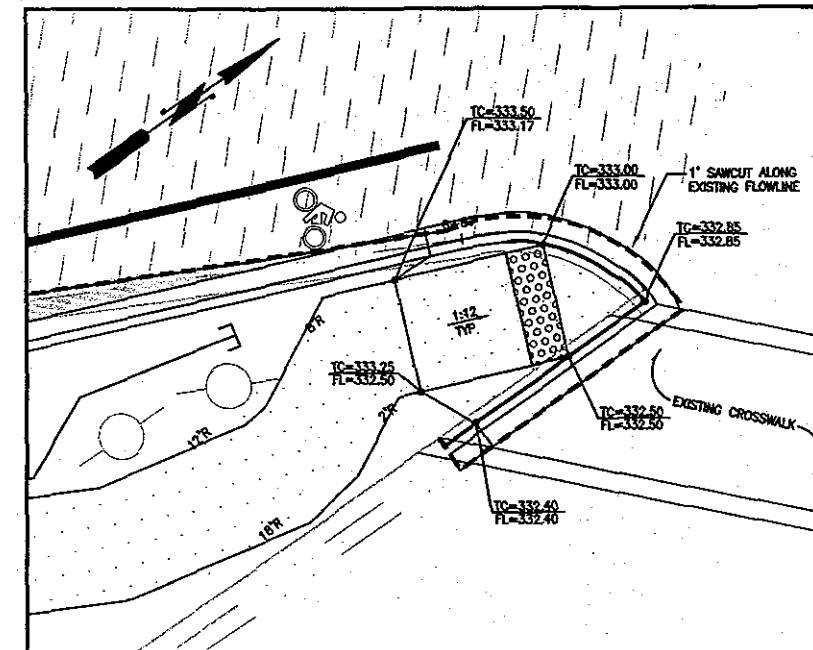
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PLAN - REGENTS BOULEVARD

SCALE 1"=20'



ADA RAMP DETAIL

SCALE 1"=5'

NOTE: EXISTING RAMP CROSS SLOPE MAY NOT SATISFY ALL ANSI ADA REQUIREMENTS DUE TO EXISTING CONDITIONS.

GENERAL NOTES

- WITH THE EXCEPTION OF THE BIKE LANE ALL CHANNELIZATION WITHIN REGENTS BLVD. TO BE COMPLETED BY OTHERS.
- CHANNELIZATION TO ADHERE TO MUTCD STANDARDS.

FUTURE STRIPING PERFORMED BY OTHERS

5'	10'	10'	10'	10'	10'	5'	5.5'	6'
BIKE LANE	TRAVEL LANE	TRAVEL LANE	TURN LANE	TRAVEL LANE	TRAVEL LANE	BIKE LANE	CURB L/S	S/W

* LANDSCAPE STRIP VARIES 5' TO 0' FROM STA. 0+39.07 TO STA. 1+21.81
LANDSCAPE STRIP VARIES 0' TO 5' FROM STA. 2+54.26 TO 6+35.44

ROADWAY SECTION A-A STA. 4+20+ to STA. 6+86.79

- MINIMUM 3" COMPACTED ASPHALT CONCRETE PAVEMENT (WSDOT 5-04), MATCH EXISTING HMA PLUS 1" TO A MAXIMUM OF 4"
- 2" COMPACTED DEPTH CRUSHED SURFACING TOP COURSE (WSDOT 9-03.8(3))
- 6" COMPACTED DEPTH GRAVEL BASE (WSDOT 9-03.10)

PROFILE - REGENTS BOULEVARD

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREIN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. CALL BEFORE YOU DIG. 811

Call 811
before you
Dig

OWNER/DEVELOPER:
JOHN PERANZI
117 NORTH TACOMA AVE, #201
TACOMA, WA. 98403

BASELINE ENGINEERING, INC.
Land Development Professional Services
(206) 565-4491 • Seattle (206) 824-1205 • FAX (206) 565-8563
Land Planning & Use • Engineering • Surveying
1910 64th Avenue West • Tacoma, WA 98466

DESIGNED: JAW
DRAWN: DP
CHECKED: JAW
DATE: 7/9/12
SCALE: AS SHOWN

SHEET
6 OF 6
11-032



TITLE:
REGENTS BOULEVARD
PLAN AND PROFILE
UNIVERSITY PLACE
WASHINGTON

M:\2011\Jobs\11032\Eng\Regents and 27th Improvements\11032-C7.dwg, 1/23/2013 12:07:00 PM, andy

GENERAL NOTES

1. ROAD CHANNELIZATION SHALL ADHERE TO MUTCD STANDARDS.
2. CONTRACTOR TO LOCATE/POTHOLE UTILITIES PRIOR TO STORM INSTALLATION.

KEYNOTES

1. INSTALL ASPHALT RAMP
2. INSTALL ADA RAMP
3. INSTALL CROSSWALK STRIPING
4. CONCRETE VERTICAL CURB TO ASPHALT WEDGE CURB TRANSITION
5. DUMPSTER AREA PAD BY OTHERS

A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M.,
CITY OF UNIVERSITY PLACE, PIERCE COUNTY, WASHINGTON

6465000020

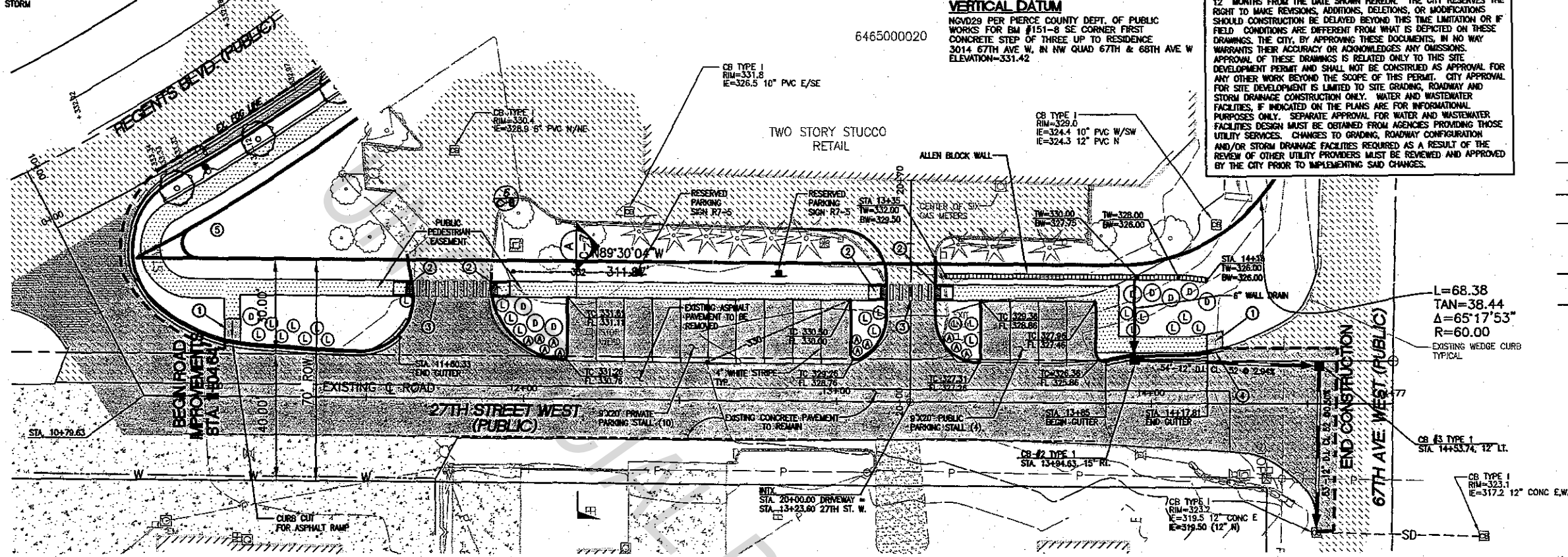
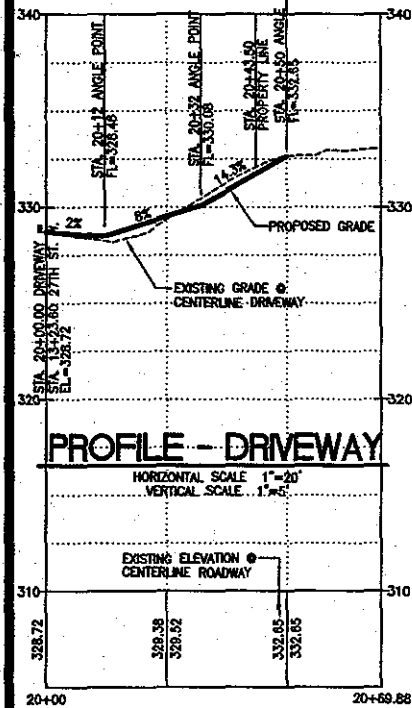
VERTICAL DATUM

NGVD29 PER PIERCE COUNTY DEPT. OF PUBLIC WORKS FOR BM #151-8 SE CORNER FIRST CONCRETE STEP OF THREE UP TO RESIDENCE 3014 67TH AVE W. IN NW QUAD 67TH & 68TH AVE W ELEVATION=331.42

APPROVED:

CITY OF UNIVERSITY PLACE

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS, OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION OR IF FIELD CONDITIONS ARE DIFFERENT FROM WHAT IS DEPICTED ON THESE DRAWINGS. THE CITY, BY APPROVING THESE DOCUMENTS, IN NO WAY WARRANTS THEIR ACCURACY OR ACKNOWLEDGES ANY OMISSIONS. APPROVAL OF THESE DRAWINGS IS RELATED ONLY TO THIS SITE DEVELOPMENT PERMIT AND SHALL NOT BE CONSTRUED AS APPROVAL FOR ANY OTHER WORK BEYOND THE SCOPE OF THIS PERMIT. CITY APPROVAL FOR SITE DEVELOPMENT IS LIMITED TO SITE GRADING, ROADWAY AND STORM DRAINAGE CONSTRUCTION ONLY. WATER AND WASTEWATER FACILITIES, IF INDICATED ON THE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. SEPARATE APPROVAL FOR WATER AND WASTEWATER FACILITIES DESIGN MUST BE OBTAINED FROM AGENCIES PROVIDING THOSE UTILITY SERVICES. CHANGES TO GRADING, ROADWAY CONFIGURATION AND/OR STORM DRAINAGE FACILITIES REQUIRED AS A RESULT OF THE REVIEW OF OTHER UTILITY PROVIDERS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO IMPLEMENTING SAID CHANGES.

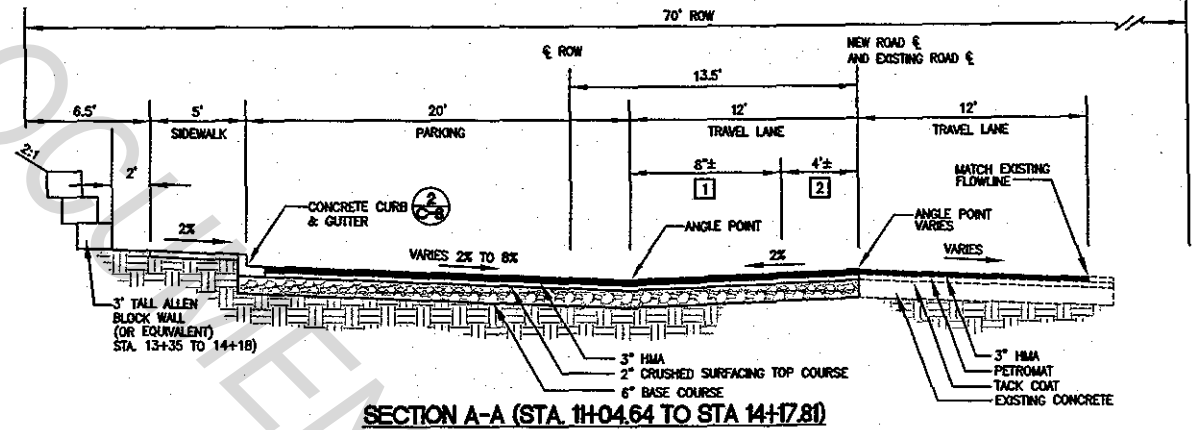
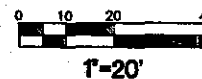


PLANT SCHEDULE

- | | |
|---------------------|-----|
| AZALEA HINO CRIMSON | (A) |
| OTTO LUYKEN LAUREL | (L) |
| REDTONG DOGWOOD | (D) |

PLAN - 27TH STREET W

SCALE 1"=20'



SECTION A-A (STA. 11+04.64 TO STA 14+71.81)

SCALE 1"=5'

PROFILE - 27TH STREET W

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



NOTES

1. EXISTING ASPHALT PAVEMENT TO BE REMOVED. IF CONTRACTOR DETERMINES ASPHALT THICKNESS IS GREATER THAN 3" THICK THEN THE CONTRACTOR IS PERMITTED TO GRIND 1-1/2", APPLY TACK COAT, AND OVERLAY NEW HMA.
2. EXISTING CONCRETE PAVEMENT TO REMAIN. ROAD SURFACE SHALL BE SWEPT AND CLEANED PRIOR TO TACK COAT APPLICATION. IF CONTRACTOR DETERMINES PETROMAT IS NOT REQUIRED THEN THE CONTRACTOR SHALL SUBMIT THE REQUEST TO THE CITY OF UNIVERSITY PLACE PUBLIC WORKS PRIOR TO THE START OF CONSTRUCTION.

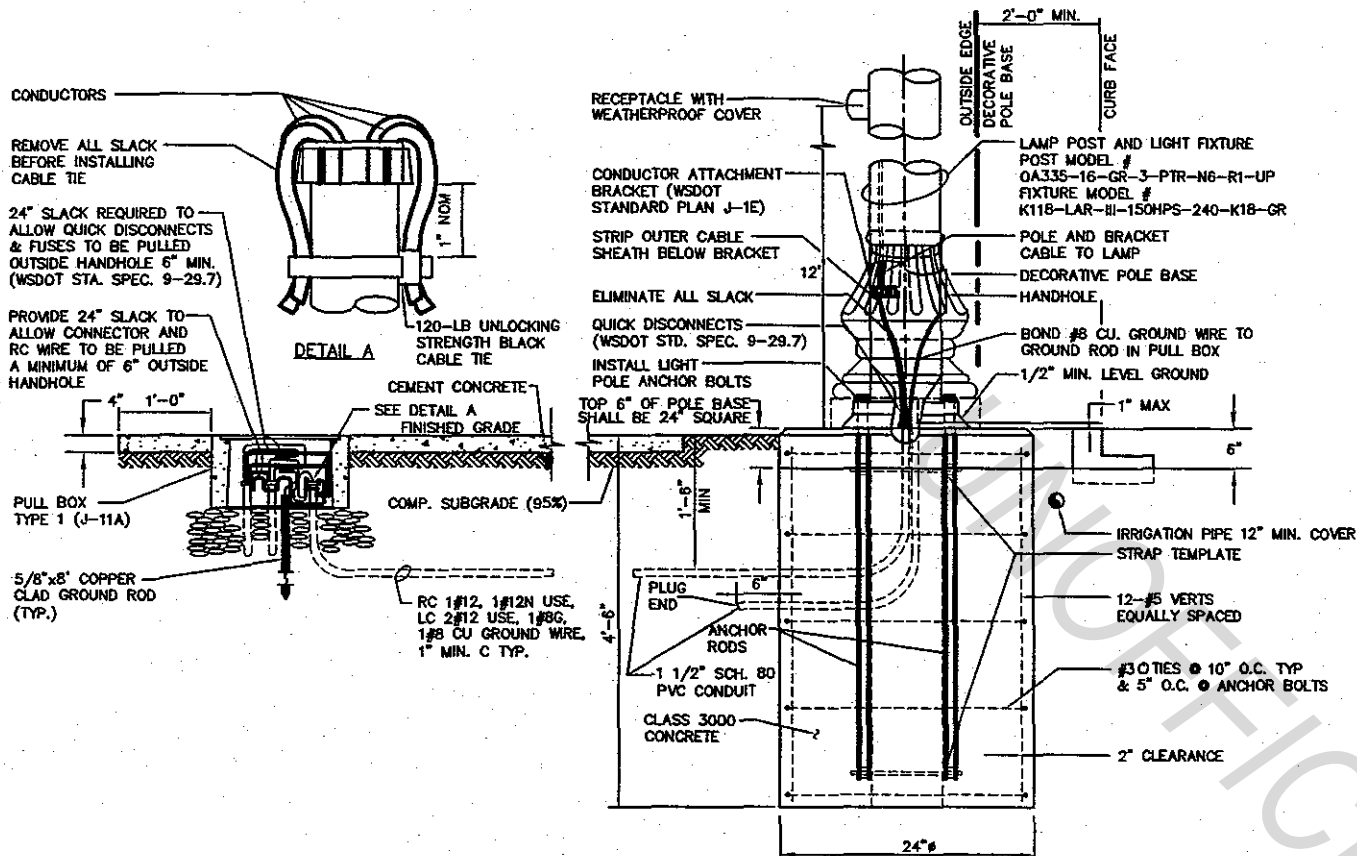


27TH STREET
PLAN AND PROFILE

OWNER/DEVELOPER:
JOHN PERANZI
117 NORTH TACOMA AVE., #201
TACOMA, WA. 98403

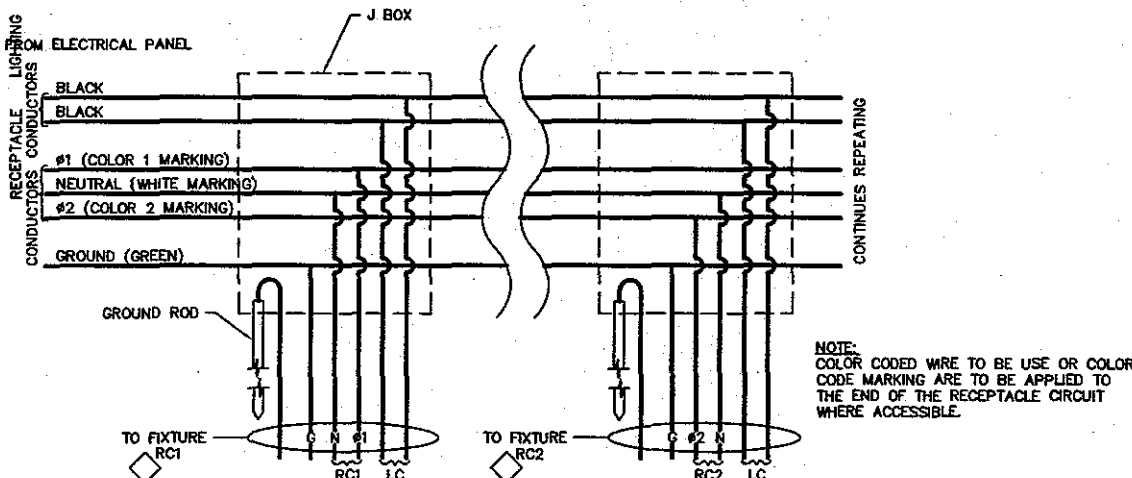
BASLINE ENGINEERING, INC.
Land Development Professional Services
(253)565-4491 • Seattle (206)824-1205 • FAX (253)565-8563
Land Planning & Use • Engineering • Surveying
1910 84th Avenue West • Tacoma, WA 98468

DESIGNED: JWP
DRAWN: DP
CHECKED: JWP
DATE: 7/9/12
SCALE: AS SHOWN
SHEET: 7 C-7
JOB NO.: 11-032



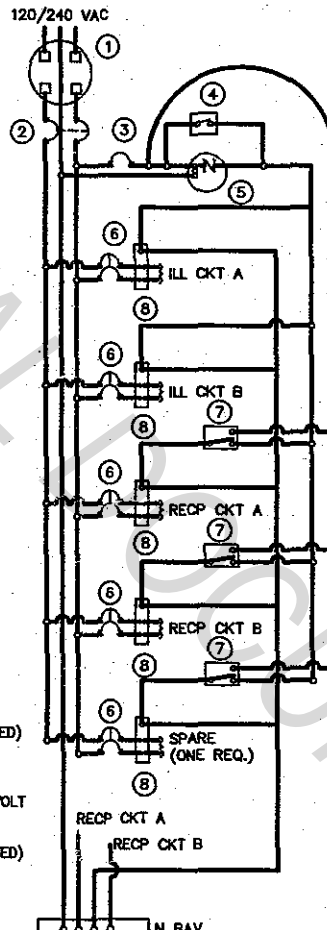
16' LAMP POST FOUNDATION DETAIL

NOT TO SCALE



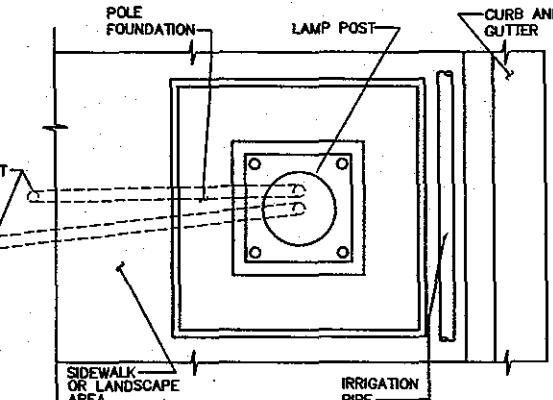
TYPICAL WIRING SCHEMATIC FOR JUNCTION BOXES

NOT TO SCALE



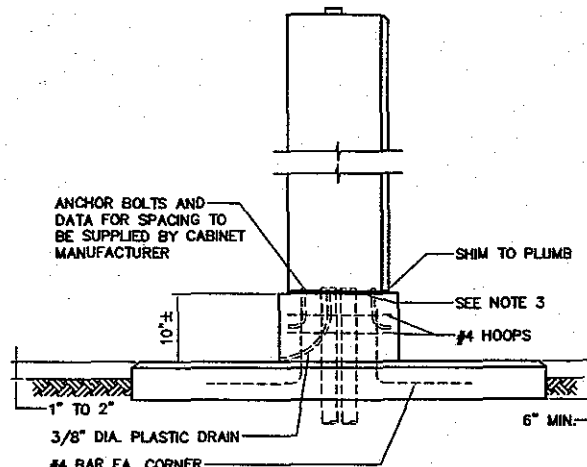
TYP. WIRING SCHEMATIC FOR PANELS

NOT TO SCALE



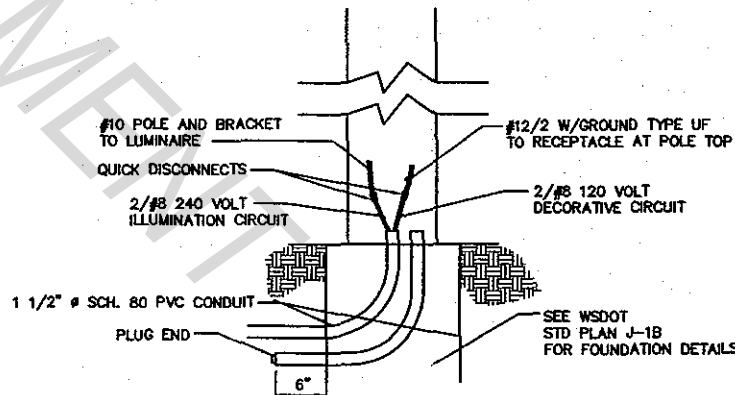
LAMP POST PLAN VIEW

NOT TO SCALE



FOR UNDER FEED LAMP FIXTURES

NOT TO SCALE



TYPICAL DETAIL FOR 35' LUMINAIRE POLES

NOT TO SCALE

APPROVED:

CITY OF UNIVERSITY PLACE

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NOTES

1. CONTRACTOR SHALL COORDINATE WITH TACOMA POWER PRIOR TO CONNECTING ADDITIONAL LIGHTING LOAD TO TACOMA POWER TRANSFORMERS.
2. FOUNDATION AND POST INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS AND NOT NECESSARILY AS PER THE DETAILS. CONTRACTOR SHALL VERIFY MODEL OF POST AND FIXTURE WITH CITY.
3. EACH LIGHT POLE SHALL BE BONDED TO A GROUND ROD WITH A #4 (1/2") GROUND WIRE.

NOTES:

1. WHERE PAD MOUNTS ARE LOCATED IN A SIDEWALK, CONSTRUCT MOUNT TOP FLUSH WITH SIDEWALK GRADE, OMITTING CHAMFER WHERE TOP AND SIDEWALK ABUT.
2. PAD MOUNT DESIGN IS TYPICAL.
3. PLACE A SILICONE SEAL BETWEEN THE CABINET FOUNDATION AND THE CABINET FOR THE PAD MOUNT DESIGN.
4. REFERENCE: WSDOT STANDARD PLAN J-6C, FOUNDATION DETAILS.

POWER FEED FROM UNDERGROUND

SYMBOLS AND ABBREVIATIONS

<u>SYMBOL</u>	<u>DESCRIPTION</u>
●	EXISTING POLE
—	NEW SECONDARY CONDUCTOR, SIZE NOTED ON SCHEDULE
✱	FIXTURE POLE / 150W HPS W/ 16" DECORATIVE POLE
⊠	PULL BOX (WSDOT TYPE 1-J11A STANDARD DWGS)
✱	FIXTURE POLE / 200W HPS W/ 35" DECORATIVE POLE

ENGINEER DISCLAIMER

STREET LIGHTING CATALOG CUTS SHALL BE SUBMITTED TO THE CITY OF UNIVERSITY PLACE FOR APPROVAL PRIOR TO ORDERING.

ELECTRICAL DESIGN DEPICTED ON THESE PLANS IS SCHEMATIC. COMPLETE ELECTRICAL DESIGN SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO CONSTRUCTION.

Drawn By _____ Date: _____

Designed By _____

Checked By _____

Approved By _____



City of University Place
Department of Public Works

Windmill Village
3715 Bridgeport Way West
University Place, Wa 98466
(253) 586-5858

Scale:
Horiz. N.T.S.
Vert. N.T.S.
Job No. _____
File Name
ELECDDET.dwg

Sheet No. 1

-10✓

10

Of

TYPICAL ILLUMINATION DETAILS

RIGHT OF WAY DEDICATION

THAT PORTION OF LOT 13, O.A.S. ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 12 OF PLATS, PAGE 2, RECORDS OF PIERCE COUNTY, WASHINGTON; DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHERLY CORNER OF SAID LOT 13, THENCE SOUTH 25° 58' 56" WEST ALONG THE WESTERLY LINE OF SAID LOT 13, A DISTANCE OF 103.81 FEET;

THENCE SOUTH 64° 01' 04" EAST, A DISTANCE OF 10.00 FEET TO A POINT ON THE SOUTHERLY MARGIN LINE OF REGENTS BOULEVARD AS ESTABLISHED BY QUIT CLAIM DEED RECORDING NUMBER 8708110207, RECORDS OF PIERCE COUNTY, WASHINGTON, SAID POINT BEING THE TRUE POINT OF BEGINNING;

THENCE SOUTH 25° 58' 56" WEST ALONG SAID SOUTHERLY MARGIN LINE A DISTANCE OF 51.62 FEET;

THENCE SOUTH 64° 26' 29" EAST, A DISTANCE OF 10.26 FEET;

THENCE NORTH 09° 11' 33" EAST, A DISTANCE OF 18.70 FEET;

THENCE NORTH 42° 11' 11" EAST, A DISTANCE OF 14.09 FEET;

THENCE SOUTH 80° 40' 49" EAST, A DISTANCE OF 11.30 FEET;

THENCE SOUTH 13° 04' 31" WEST, A DISTANCE OF 16.46 FEET;

THENCE SOUTH 09° 53' 49" EAST, A DISTANCE OF 16.66 FEET;

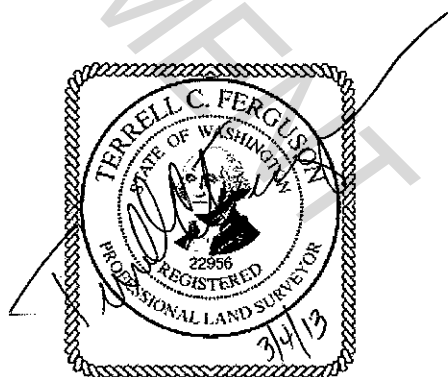
THENCE SOUTH 87° 42' 38" EAST, A DISTANCE OF 15.64 FEET TO THE WEST MARGIN LINE OF 67TH AVENUE WEST AS ESTABLISHED BY QUIT CLAIM DEED PER RECORDING NUMBER 8708110207, RECORDS OF PIERCE COUNTY, WASHINGTON;

THENCE NORTH 01° 38' 32" EAST ALONG SAID WEST MARGIN LINE A DISTANCE OF 50.74 FEET TO A POINT OF CURVATURE;

THENCE NORTHERLY, WESTERLY AND SOUTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15.00 FEET; THROUGH A CENTRAL ANGLE OF 155° 39' 36"; AN ARC DISTANCE OF 40.75 FEET TO THE TRUE POINT OF BEGINNING.

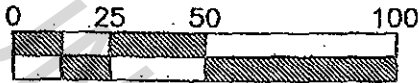
ALL SITUATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M.; PIERCE COUNTY, WASHINGTON.

TOGETHER WITH AND SUBJECT TO COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.



27th Street Vacation/Parking – ROW Dedication 2
Prepared by **BASELINE** Engineering Inc.
BEI #11-032
March 4, 2013

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.26	N64°26'29"W
L2	18.70	N09°11'33"E
L3	20.65	S66°16'03"E
L4	16.66	S09°53'49"E
L5	15.64	S87°42'38"E
L6	10.00	S64°01'04"E



1"=50'



REGENTS BLVD.

DEDICATION DEED 8708110207

13

POC=POINT OF COMMENCING
TPOB=TRUE POINT OF BEGINNING

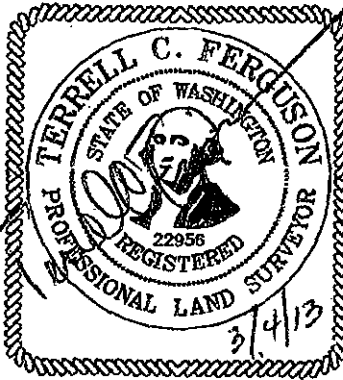
POC

N25°58'56"E
103.81'

L=40.75
TAN=69.55
Δ=155°39'36"
R=15.00

1624± SQ. FT.

67TH AVE. WEST



BASELINE ENGINEERING, INC.

Land Development Professional Services

(253)565-4491 • Seattle (206)824-1205 • FAX (253)565-8563

Land Planning & Use • Engineering • Surveying

1910-64th Avenue West • Tacoma, WA 98466

DRAWN BY KRF	DATE 6-1-12	JOB NO. 11-032
CHECKED BY TCF	SCALE 1"=50'	SHEET 1 OF 1

AFTER RECORDING RETURN TO:

City of University Place
ATTN: City Attorney
3715 Bridgeport Way W.
University Place, WA 98466

GRANTOR: City of University Place, a WA municipal corporation
GRANTEES: Donald C. Helland, 110-12 Tacoma Ave. North, LLC, and
Elmwood, LLC
TAX PARCEL NO.: Ptn of 6465000020

QUIT CLAIM DEED

THE GRANTOR, City of University Place, at 3715 Bridgeport Way W. in the County of Pierce, Washington, for and in consideration of the mutual benefits resulting from the development of the UP Crossing property, does hereby convey and quit claim to Donald C. Helland, 110-12 Tacoma Ave. North LLC and Elmwood LLC, of 117 N. Tacoma Avenue, Apt. 201, Tacoma, County of Pierce, State of Washington, all interest in the following described real estate:

See attached Exhibit 1(27th Street Property).

Situated in the County of Pierce, State of Washington.

DATED this _____ day of _____, 2013.

GRANTOR:

By _____
Stephen P. Sugg, City Manager
City of University Place

Accepted:

By _____
Donald C. Helland

By _____

name & title
110-12 Tacoma Ave. North LLC

By _____

name & title
Elmwood LLC

I certify that I know or have satisfactory evidence that **Stephen P. Sugg** is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the **City Manager** of the **City of University Place**, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

I certify that I know or have satisfactory evidence that **Donald C. Helland** is the person who appeared before me, and said person acknowledged that he signed this instrument, and acknowledged it to be the free and voluntary act for the uses and purposes mentioned in the instrument.

I certify that I know or have satisfactory evidence that _____ is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the _____ of **110-12 Tacoma Ave. North LLC**, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

I certify that I know or have satisfactory evidence that _____ is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the _____ of **Elmwood LLC**, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

NOTARY PUBLIC
My commission expires:

VACATE AREA DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M. PIERCE COUNTY, WASHINGTON; DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 13, OF O.A.S. ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 12 OF PLATS, PAGE 2, RECORDS OF PIERCE COUNTY, WASHINGTON.

THENCE SOUTH 89° 30' 04" EAST ALONG THE SOUTH LINE OF SAID LOT 13, A DISTANCE OF 46.41 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00° 29' 56" WEST, A DISTANCE OF 30.00 FEET TO THE CENTERLINE OF RIGHT OF WAY FOR 27TH STREET WEST;

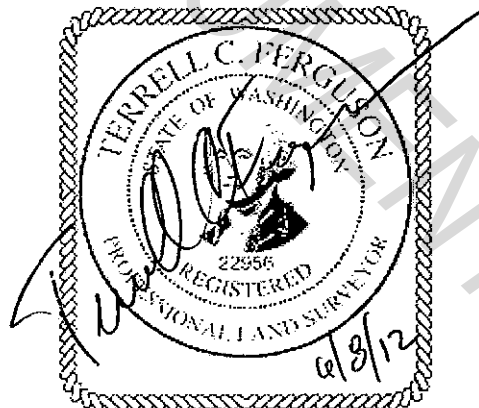
THENCE SOUTH 89° 30' 04" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 318.18 FEET;

THENCE NORTH 00° 29' 56" EAST, A DISTANCE OF 40.39 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 13; SAID POINT BEING A POINT ON A CURVE WITH A RADIAL BEARING OF NORTH 33° 43' 50" WEST;

THENCE SOUTHERLY AND WESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 60.00 FEET; THROUGH A CENTRAL ANGLE OF 34° 13' 46"; AN ARC DISTANCE OF 35.85 FEET;

THENCE NORTH 89° 30' 04" WEST CONTINUING ALONG SAID SOUTH LINE OF LOT 13, A DISTANCE OF 284.43 FEET TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH AND SUBJECT TO COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.



27th Street Vacation/Parking
Vacate Area Description
Prepared by **BASELINE** Engineering Inc.
BEI #11-032
June 7, 2012

EXHIBIT NO. 1

27th St. Property

REGENTS BLVD.

DEDICATION DEED 8708110207

LINE TABLE		
LINE	LENGTH	BEARING
L1	46.41	N89°30'04"W
L2	30.00	S00°29'56"W
L3	40.39	S00°29'56"W

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	35.85	60.00	34°13'46"

POB
POC

POC=POINT OF COMMENCING
TPOB=TRUE POINT OF BEGINING

284.43'

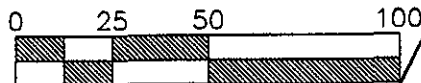
L1
30'
ROW

N89°30'04"W
318.18'

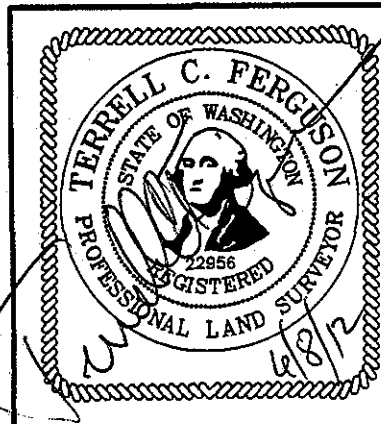
27TH STREET WEST

9,658± SQ. FT.

N33°43'50"W(R)
60.00'



1"=50'



Land Development Professional Services

(253)565-4491 • Seattle (206)824-1205 • FAX (253)565-8563

Land Planning & Use • Engineering • Surveying

1910-64th Avenue West • Tacoma, WA 98466

DRAWN BY	KRF	DATE	6-7-12	JOB NO.	11-032
CHECKED BY	TCF	SCALE	1"=50'	SHEET	1 OF 1

AFTER RECORDING RETURN TO:

City of University Place
ATTN: City Attorney
3715 Bridgeport Way W.
University Place, WA 98466

GRANTORS: Donald C. Helland, 110-12 Tacoma Ave. North, LLC, and
Elmwood, LLC

GRANTEE: City of University Place, a WA municipal corporation
TAX PARCEL NO.: Ptn of 6465000020

QUIT CLAIM DEED

THE GRANTORS, Donald C. Helland, 110-12 Tacoma Ave. North LLC and Elmwood LLC, of 117 N. Tacoma Avenue, Apt. 201, in the County of Pierce, Washington, for and in consideration of the mutual benefits resulting from the development of the UP Crossing property, does hereby convey and quit claim to City of University Place, at 3715 Bridgeport Way W. Tacoma, County of Pierce, State of Washington, all interest in the following described real estate:

See attached Exhibit 1(Regents Property).

Situated in the County of Pierce, State of Washington.

DATED this _____ day of February, 2013.

GRANTORS:

By _____
Donald C. Helland

By _____

110-12 Tacoma Ave. North LLC

By _____

Elmwood LLC

Accepted:

Stephen P. Sugg, City Manager
City of University Place

RIGHT OF WAY DEDICATION

THAT PORTION OF LOT 13, O.A.S. ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 12 OF PLATS, PAGE 2, RECORDS OF PIERCE COUNTY, WASHINGTON; DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 13, THENCE SOUTH 89° 30' 04" EAST ALONG THE SOUTH LINE OF SAID LOT 13, A DISTANCE OF 21.47 FEET TO THE TRUE POINT OF BEGINNING;

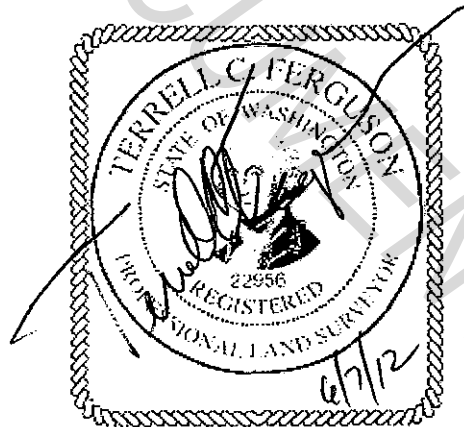
THENCE CONTINUING SOUTH 89° 30' 04" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 18.97 FEET TO A POINT OF CURVATURE;

THENCE WESTERLY AND NORTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 5.00 FEET, THROUGH A CENTRAL ANGLE OF 149° 35' 16"; AN ARC DISTANCE OF 13.05 FEET TO A POINT ON THE SOUTHERLY MARGIN LINE OF REGENTS BOULEVARD AS ESTABLISHED BY QUIT CLAIM DEED, RECORDING NUMBER 8708110207, RECORDS OF PIERCE COUNTY, WASHINGTON; SAID POINT BEING A POINT ON A CURVE WITH A RADIAL BEARING OF NORTH 29° 54' 47" WEST, A RADIUS OF 613.00 FEET;

THENCE SOUTHWESTERLY ALONG SAID CURVE TO THE RIGHT ALONG SAID SOUTHERLY MARGIN LINE THROUGH A CENTRAL ANGLE OF 01° 43' 58", AN ARC DISTANCE OF 18.99 FEET TO THE TRUE POINT OF BEGINNING.

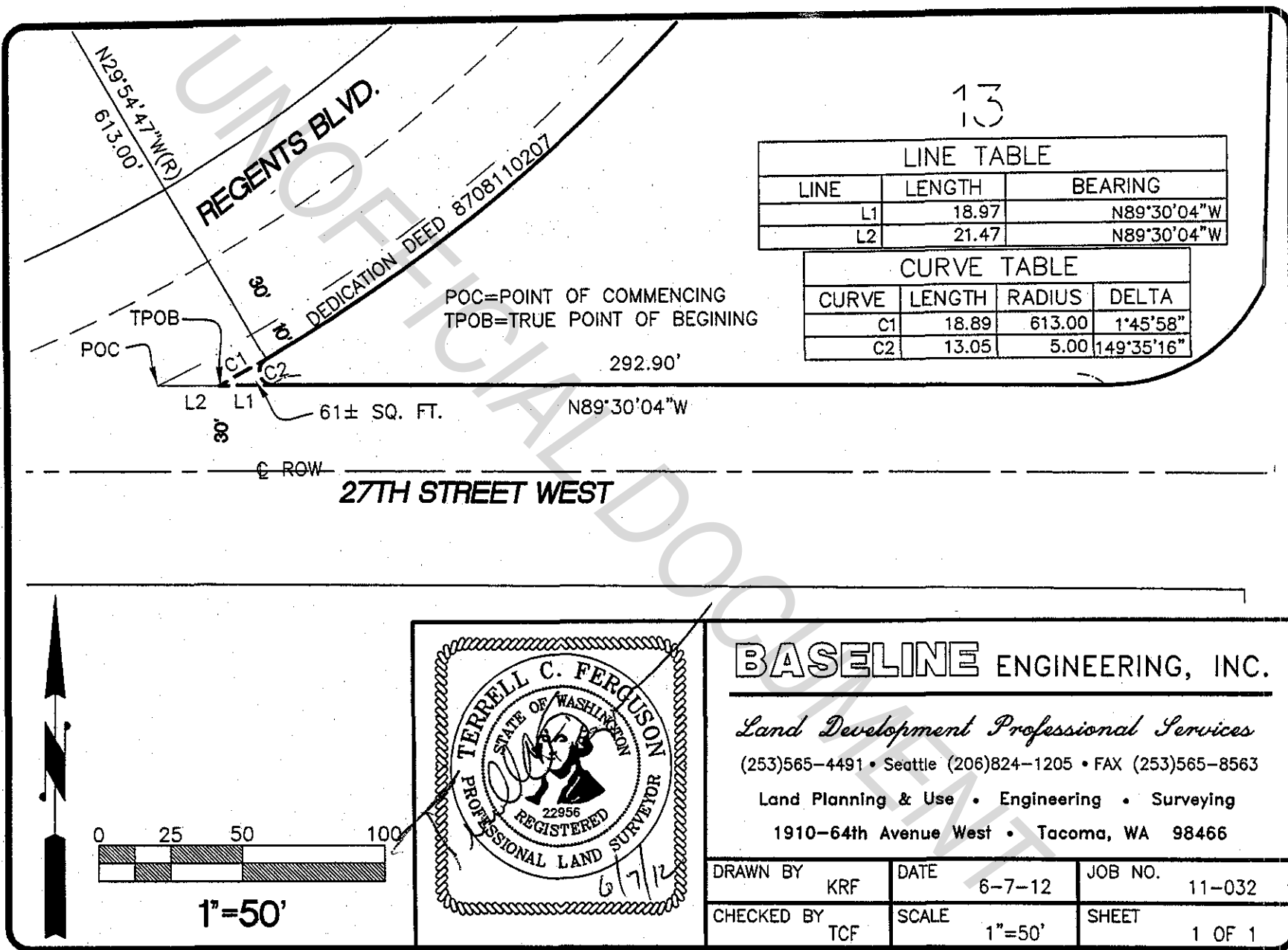
ALL SITUATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M.; PIERCE COUNTY, WASHINGTON.

TOGETHER WITH AND SUBJECT TO COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.



27th Street Vacation/Parking – ROW Dedication 3
Prepared by **BASELINE** Engineering Inc.
BEI #11-032
June 6, 2012

EXHIBIT NO. 1 - Regents Prop.



AFTER RECORDING RETURN TO:

City of University Place
ATTN: City Attorney
3715 Bridgeport Way W.
University Place, WA 98466

GRANTORS: Donald C. Helland, 110-12 Tacoma Ave. North, LLC, and
Elmwood, LLC

GRANTEE: City of University Place, a WA municipal corporation
TAX PARCEL NO.: Ptn of 6465000020

QUIT CLAIM DEED

THE GRANTORS, Donald C. Helland, 110-12 Tacoma Ave. North LLC and Elmwood LLC, of 117 N. Tacoma Avenue, Apt. 201, in the County of Pierce, Washington, for and in consideration of the mutual benefits resulting from the development of the UP Crossing property, does hereby convey and quit claim to City of University Place, at 3715 Bridgeport Way W. Tacoma, County of Pierce, State of Washington, all interest in the following described real estate:

See attached Exhibit 1(Corner Property).

Situated in the County of Pierce, State of Washington.

DATED this _____ day of February, 2013.

GRANTORS:

By _____
Donald C. Helland

By _____

name & title
110-12 Tacoma Ave. North LLC

By _____

name & title
Elmwood LLC

Accepted:

Stephen P. Sugg, City Manager
City of University Place

STATE OF WASHINGTON)
)ss
COUNTY OF PIERCE)

I certify that I know or have satisfactory evidence that **Donald C. Helland** is the person who appeared before me, and said person acknowledged that he signed this instrument, and acknowledged it to be the free and voluntary act for the uses and purposes mentioned in the instrument.

DATED: _____

 print name

NOTARY PUBLIC

My commission expires: _____

STATE OF WASHINGTON)
)ss
COUNTY OF PIERCE)

I certify that I know or have satisfactory evidence that _____ is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the _____ of **110-12 Tacoma Ave. North LLC**, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

DATED: _____

 print name

NOTARY PUBLIC

My commission expires: _____

STATE OF WASHINGTON)
)ss
COUNTY OF PIERCE)

I certify that I know or have satisfactory evidence that _____ is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the _____ of **Elmwood LLC**, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

DATED: _____

 print name

NOTARY PUBLIC

My commission expires: _____

State of Washington)
)ss
County of _____)

I certify that I know or have satisfactory evidence that **Stephen P. Sugg** is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the **City Manager** of the **City of University Place**, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

DATED: _____

 print name

NOTARY PUBLIC

My commission expires: _____

JUN 08 2012

RIGHT OF WAY DEDICATION

THAT PORTION OF LOT 13, O.A.S. ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 12 OF PLATS, PAGE 2, RECORDS OF PIERCE COUNTY, WASHINGTON; DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHERLY CORNER OF SAID LOT 13, THENCE SOUTH 25° 58' 56" WEST ALONG THE WESTERLY LINE OF SAID LOT 13, A DISTANCE OF 103.81 FEET;

THENCE SOUTH 64° 01' 04" EAST, A DISTANCE OF 10.00 FEET TO A POINT ON THE SOUTHERLY MARGIN LINE OF REGENTS BOULEVARD AS ESTABLISHED BY QUIT CLAIM DEED RECORDING NUMBER 8708110207, RECORDS OF PIERCE COUNTY, WASHINGTON, SAID POINT BEING THE TRUE POINT OF BEGINNING;

THENCE SOUTH 25° 58' 56" WEST ALONG SAID SOUTHERLY MARGIN LINE A DISTANCE OF 51.62 FEET;

THENCE SOUTH 64° 26' 29" EAST, A DISTANCE OF 10.26 FEET;

THENCE NORTH 09° 11' 33" EAST, A DISTANCE OF 18.70 FEET;

THENCE SOUTH 66° 16' 03" EAST, A DISTANCE OF 20.65 FEET;

THENCE SOUTH 09° 53' 49" EAST, A DISTANCE OF 16.66 FEET;

THENCE SOUTH 87° 42' 38" EAST, A DISTANCE OF 15.64 FEET TO THE WEST MARGIN LINE OF 67TH AVENUE WEST AS ESTABLISHED BY QUIT CLAIM DEED PER RECORDING NUMBER 8708110207, RECORDS OF PIERCE COUNTY, WASHINGTON;

THENCE NORTH 01° 38' 32" EAST ALONG SAID WEST MARGIN LINE A DISTANCE OF 50.74 FEET TO A POINT OF CURVATURE;

THENCE NORTHERLY, WESTERLY AND SOUTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15.00 FEET; THROUGH A CENTRAL ANGLE OF 155° 39' 36"; AN ARC DISTANCE OF 40.75 FEET TO THE TRUE POINT OF BEGINNING.

ALL SITUATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 20 NORTH, RANGE 02 EAST, W.M.; PIERCE COUNTY, WASHINGTON.

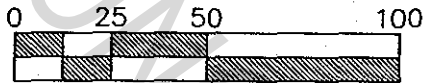
TOGETHER WITH AND SUBJECT TO COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.



27th Street Vacation/Parking – ROW Dedication 2
Prepared by **BASELINE** Engineering Inc.
BEI #11-032
June 5, 2012

EXHIBIT NO. 1 - Corner Prop.

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.26	N64°26'29"W
L2	18.70	N09°11'33"E
L3	20.65	S66°16'03"E
L4	16.66	S09°53'49"E
L5	15.64	S87°42'38"E
L6	10.00	S64°01'04"E



1"=50'



REGENTS BLVD.

DEDICATION DEED 8708110207

13

POC=POINT OF COMMENCING
TPOB=TRUE POINT OF BEGINING

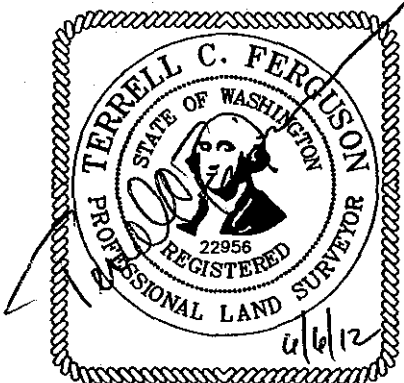
POC

N25°58'56"E
103.81'

L=40.75
TAN=69.55
Δ=155°39'36"
R=15.00

1,984± SQ. FT.

67TH AVE. WEST



BASELINE ENGINEERING, INC.

Land Development Professional Services

(253)565-4491 • Seattle (206)824-1205 • FAX (253)565-8563

Land Planning & Use • Engineering • Surveying

1910-64th Avenue West • Tacoma, WA 98466

DRAWN BY	KRF	DATE	6-1-12	JOB NO.	11-032
CHECKED BY	TCF	SCALE	1"=50'	SHEET	1 OF 1